

**GENERAL NOTES**

- NO MASONRY CORE HOLES SHALL BE EXPOSED. TYP. CLOSURE (SOLID CORE) MASONRY SHALL BE USED WHERE CORE HOLES WOULD OTHERWISE BE EXPOSED TO ELEMENTS.
- EXPOSED STEEL LINTELS AND BREAK METAL TO BE PAINTED TO MATCH ADJACENT SURFACE UNLESS OTHERWISE NOTED.
- ALL EXTERIOR GWB CEILINGS TO BE PAINTED UNLESS OTHERWISE NOTED.
- SEE 'G' SERIES FOR LIFE SAFETY INFORMATION.
- PROVIDE SOLID BLOCKING WITHIN WALL CAVITY SEGMENTS BEHIND ALL EXTERIOR LIGHTS AND SIGNAGE.
- FACE OF SLAB SHALL NOT BE EXPOSED AT SLOPED EXTERIOR PAVING CONDITIONS. COORDINATE EXT. PAVING CONDITIONS WITH CIVIL. TYP.
- EXTERIOR PAVING SHALL NOT HAVE A FINISHED ELEVATION HIGHER THAN THE SILL HEIGHT AT AN ADJACENT DOOR LOCATION.
- ALL CAULKING IS TO MATCH ADJACENT SURFACES.
- ALL DIMENSIONS ARE TAKEN FROM EXTERIOR FACE OF STUD WALLS, EXTERIOR FACE OF CMU/CONCRETE WALLS, COLUMN, WINDOW CENTERLINES, & MASONRY OPENINGS UNLESS OTHERWISE NOTED.
- PROVIDE 3/4" PLYWOOD WITHIN WALL CAVITY SEGMENTS BEHIND ALL SURFACE MOUNTED ELECTRICAL PANELS PRIOR TO PANEL INSTALLATION.
- VERIFY ALL FINISH FLR. ELEVATIONS (F.F.E.) WITH CIVIL DRAWINGS.
- SEE EXT. ELEVATIONS FOR LOCATION & TAGS OF EXTERIOR FINISHES.
- COORDINATE SIDEWALK LOCATIONS AND HEIGHTS WITH ALL HARDSCAPE PLANS. ALL SIDEWALKS AT DOOR THRESHOLDS SHALL BE LEVEL.
- VERIFY ALL BRACE FRAME LOCATIONS & CONFIGURATIONS ARE CLEAR OF ALL DOOR AND WINDOW OPENINGS.
- SEE UNIT PLANS (A4.00 SERIES) FOR UNIT DOOR TAGS. SEE ENLARGED PLANS FOR WINDOW TAGS.
- ALL EXTERIOR BALCONIES & WALKS TO SLOPE 1/8" PER 1'-0" AWAY FROM UNIT DOORS.
- SEE MEP, FPE, CIVIL, AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- SPOT ELEVATIONS INDICATED ARE FOR ARCHITECTURAL COORDINATION ONLY. SEE CIVIL DRAWINGS FOR ACTUAL SITE SPECIFIC ELEVATIONS.
- FIRE RATED SEPARATIONS TO EXTEND INTO ALL EAVES & DORMERS AT TENANT SEPARATION.
- ALL EXTERIOR ACCESSED STORAGE CLOSETS, MECHANICAL CLOSETS, SPRINKLER ROOMS AND ANY OTHER EXTERIOR ACCESSED UNCONDITIONED SPACE, AT ALL INTERIOR WALLS OF SPACE PROVIDE EITHER A LEVEL 5 FINISH OR PROVIDE MOLD & MILDEW RESISTANT GWB. FIRE RATINGS AS SHOWN ON PLANS MUST BE MAINTAINED.
- ALL WINDOWS OPENING ONTO POOL DECK AREA MUST BE LIMITED TO A 4" MAX. OPENING OR BE FIXED.
- REST ROOMS THAT SERVICE POOL MUST HAVE SHATTERPROOF MIRRORS (IF MIRRORS PROVIDED).
- LAVATORIES AND SHOWERS MUST HAVE METAL OR PLASTIC DISPENSERS.
- 110 DEGREE MAX. HOT WATER MUST BE AVAILABLE WHENEVER THE POOL IS OPEN.
- REFERENCE STRUCTURAL DRAWINGS FOR SHEAR WALL LOCATIONS.
- TYPICAL EXTERIOR WALL TO BE W8. ALL EXTERIOR SHEAR WALLS TO BE W10. COORDINATE SHEAR WALL LOCATIONS WITH STRUCTURAL. SEE PARTITION TYPES LEGEND ON SHEET G1.40 FOR ADDITIONAL INFORMATION



1815 S. Tryon St.,  
Suite A  
Charlotte, NC 28203  
704/333-7272  
ClineDesignAssoc.com

DPJ Residential  
**Westfall Park Apartments**  
**Mixed Use**  
1817 Sir Tyler Drive, Wilmington, NC 28405

NOT FOR  
CONSTRUCTION

Design  
Development

PROJECT:	215007
DATE:	6/05/15
REVISIONS:	DATE
1	Per COW Cmnts 6.19.15

DRAWN BY: Author  
CHECKED BY: Checker

**FIRST FLOOR PLAN**

A1.01



01 First Floor Plan

1

1/16" = 1'-0"

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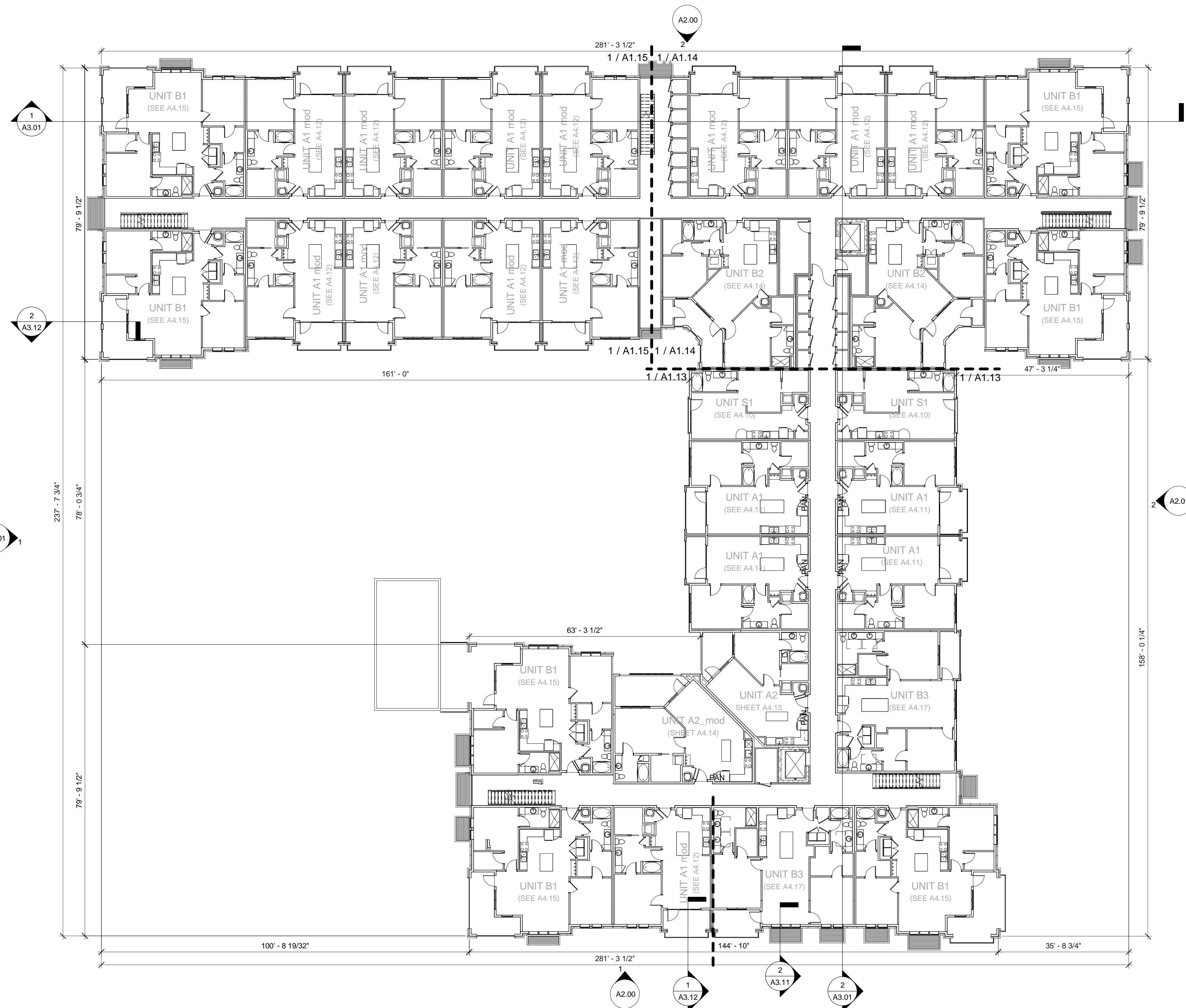
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SECOND FLOOR PLAN

A1.02



02 Second Floor Plan

1



1/16" = 1'-0"

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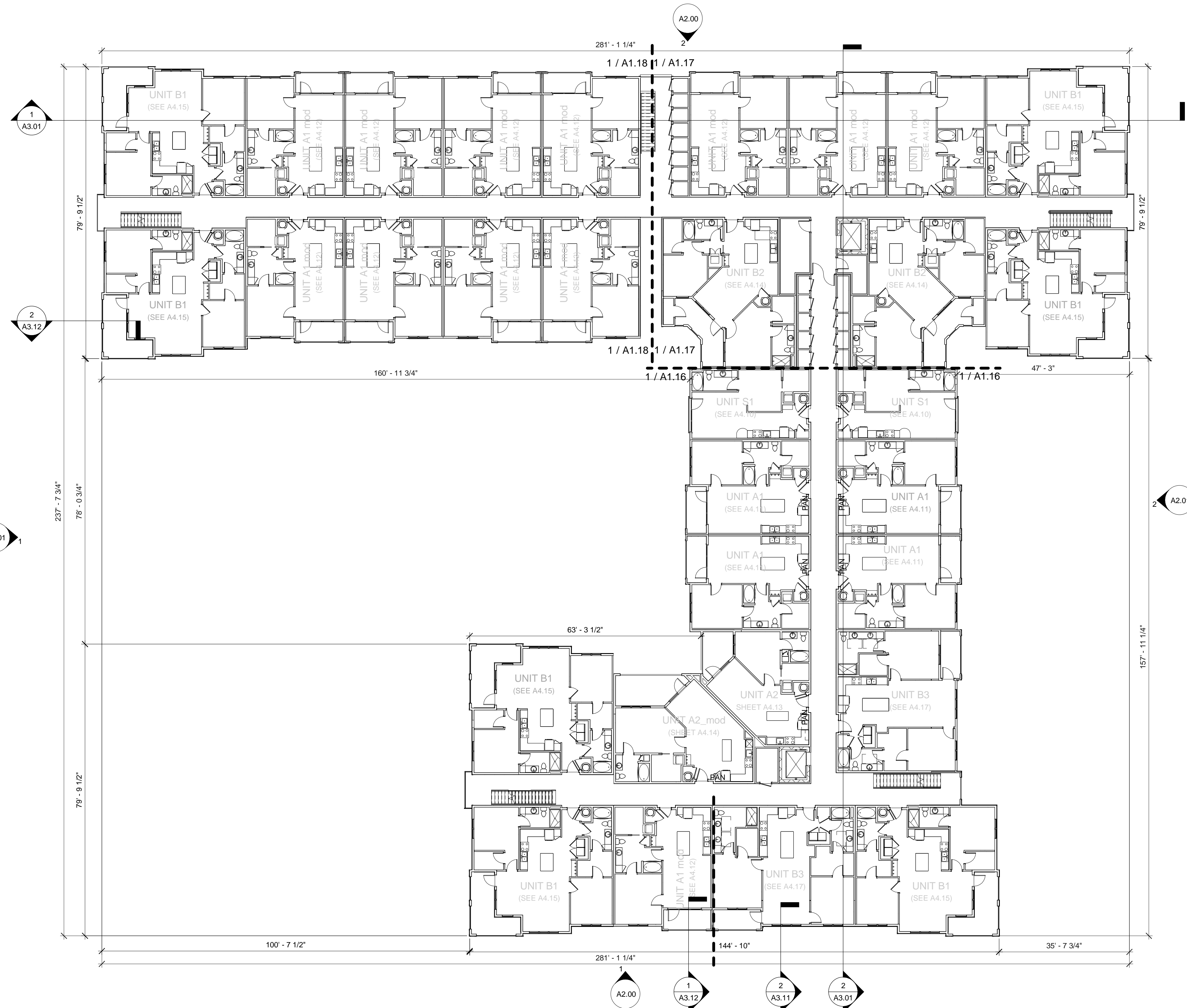
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THIRD FLOOR PLAN

A1.03



03 Third Floor Plan

1



1/16" = 1'-0"

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Design Development

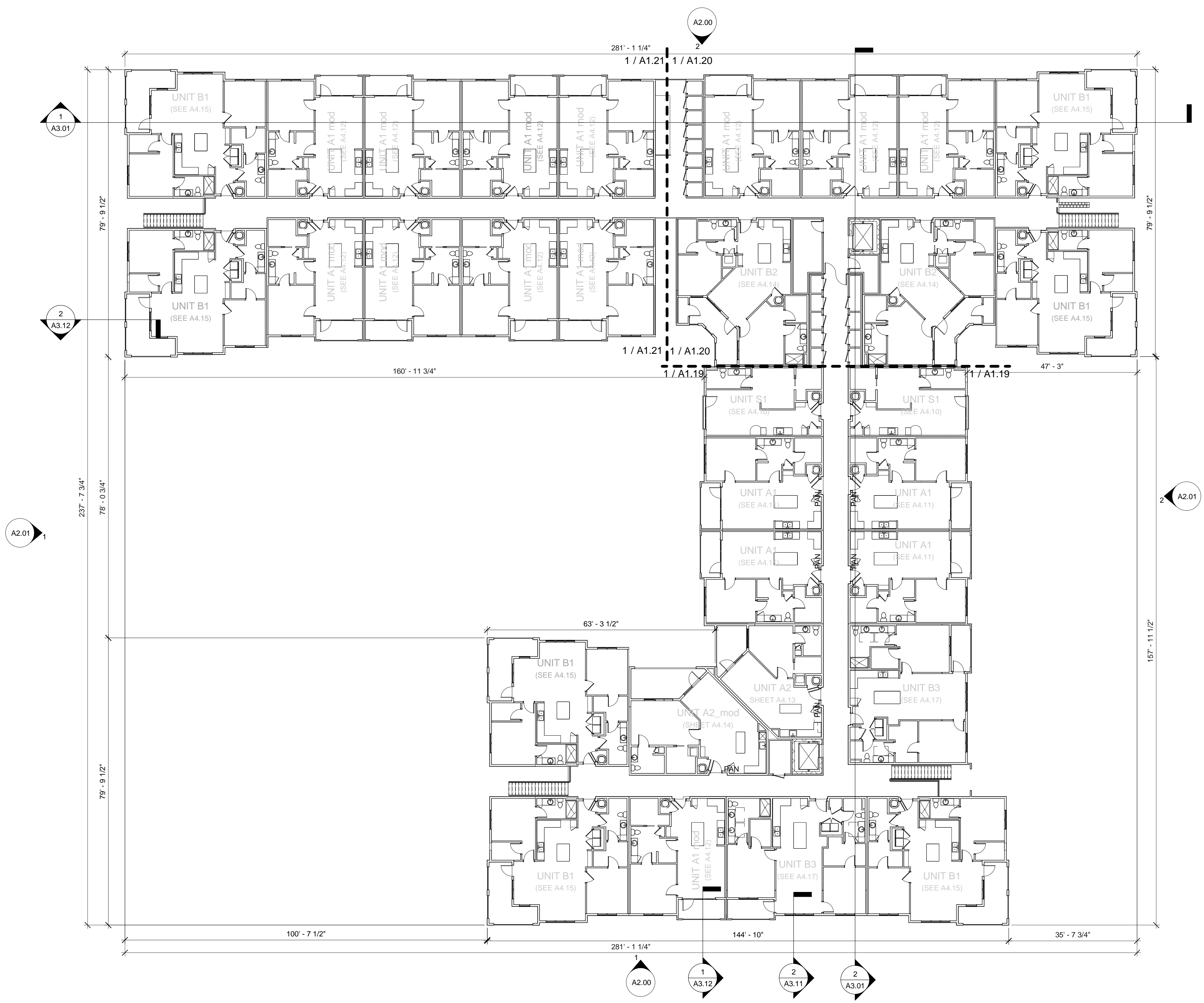
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FOURTH FLOOR PLAN

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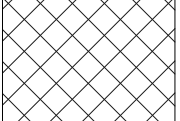
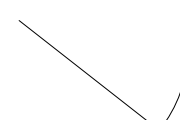
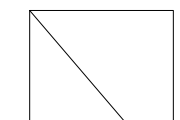
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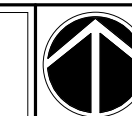
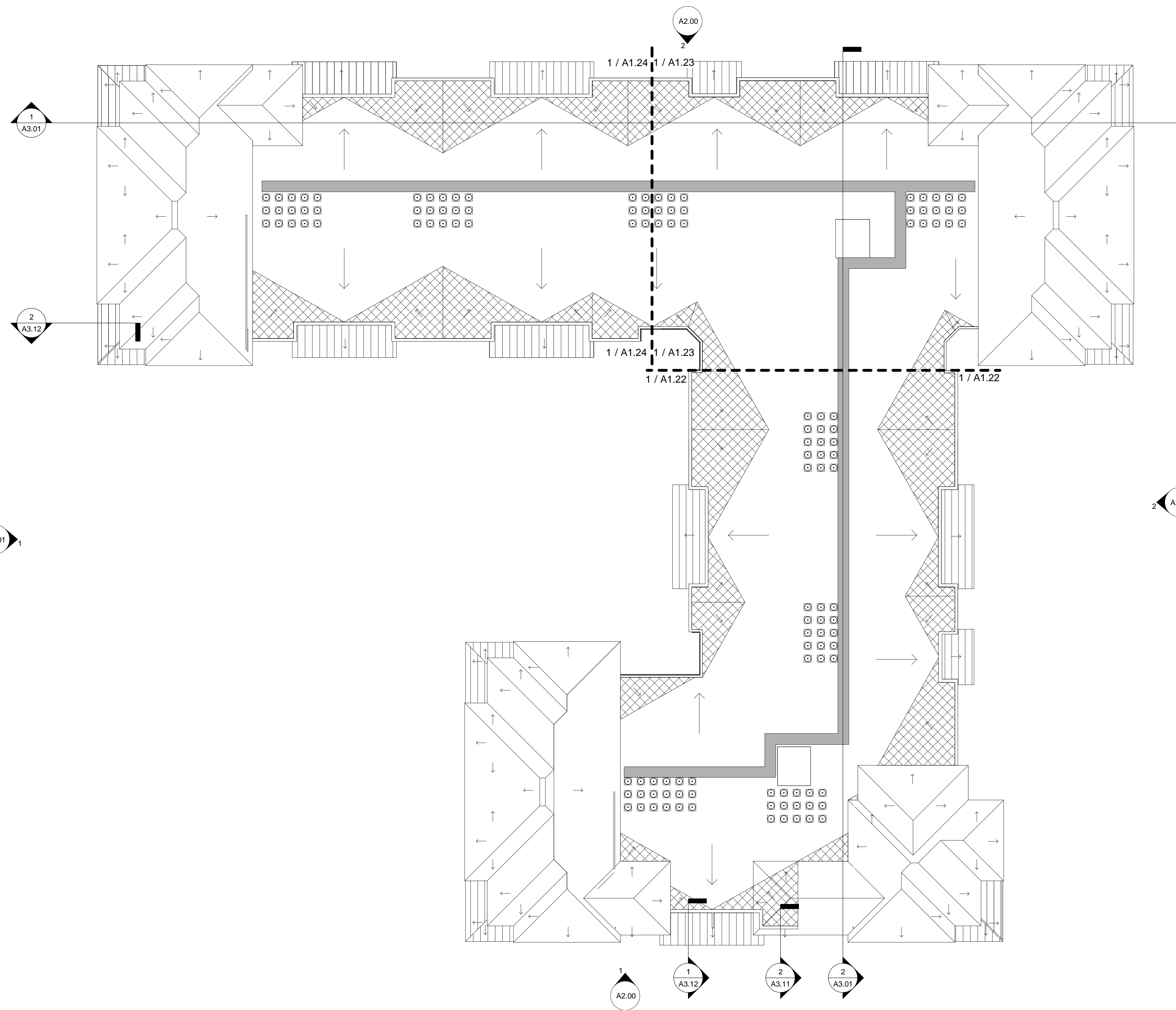
ROOF PLAN

## GENERAL NOTES

1. FIRE RATED SEPARATIONS TO EXTEND TO UNDERSIDE OF ROOF SHEATHING AT TENANT SEPARATION WALLS. SEE LIFE SAFETY SHEETS FOR TENANT SEPARATION WALL LOCATIONS.
2. PROVIDE FLASHING AT ALL WALL / ROOF INTERSECTIONS.
3. COORDINATE ALL DOWNSPOUT TIE-INS WITH CIVIL DRAWINGS. PROVIDE SPLASH BLOCKS FOR DOWNSPOUTS W/O TIE-INS.
4. DOWNSPOUTS SHALL BE CONNECTED TO UNDERGROUND STORMWATER SYSTEM. REFERENCE CIVIL DRAWINGS FOR ALL STORMWATER INFO.
5. DOWNSPOUTS THAT DAYLIGHT ONTO A ROOF BELOW SHALL BE TURNED TO DISCHARGE IN THE DIRECTION OF THE ROOF SLOPE BEING DISCHARGED ONTO.
6. INSTALL ALL ROOFING PRODUCTS PER MANUFACTURER STANDARD PROCEDURES AND DETAILS.
7. SUBMIT SHOP DRAWINGS OF FINAL ROOF AND FLOOR TRUSS DESIGN TO STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION. ALL ROOF TRUSSES TO BE DESIGNED BY OTHERS.
8. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL ROOF FRAMING AND DETAIL INFORMATION.
9. THIS DRAWING SHOWS ARCHITECTS DESIGN INTENT ONLY. SEE SEAL ENGINEERED TRUSS SHOP DRAWINGS FOR FINAL DESIGN.
10. PROVIDE LONG LINE APPLICATIONS FOR REFRIGERANT PIPING THAT EXTENDS MANUFACTURER'S RECOMMENDATIONS.
11. PROVIDE ISOLATION CONDENSER PADS & ROOF WALKING SURFACES FROM ROOF ACCESS TO ALL CONDENSER UNITS. MAINTAIN REQUIRED SERVICE CLEARANCES.
12. COORDINATE CONDENSER LOCATIONS AND QUANTITIES WITH MECHANICAL DRAWINGS.
13. REFER TO ROOF DETAILS AND MECHANICAL DRAWINGS FOR ADDITIONAL ROOF PENETRATION DETAILS, INCLUDING ROOF CURB DETAIL FOR REFRIGERANT LINES.
14. PROVIDE 6'X12" ROOF SCUPPER AT EACH DOWNSPOUT LOCATIONS AT FLAT ROOF AREAS. PROVIDE AN EQUAL OVERFLOW SCUPPER 2" ABOVE BOTTOM OF SCUPPER AT A MAXIMUM DISTANCE OF 4'-0" CENTER OF SCUPPER TO CENTER OF OVERFLOW SCUPPER U.N.O.
15. PROVIDE CRICKETS AT FLAT ROOF AREAS FOR POSITIVE DRAINAGE TOWARD ROOF SCUPPERS.

## ROOF LEGEND

-  - WALKING SURFACE
-  - CRICKET
-  - ATTIC ACCESS DOOR
-  - ATTIC ACCESS DOOR



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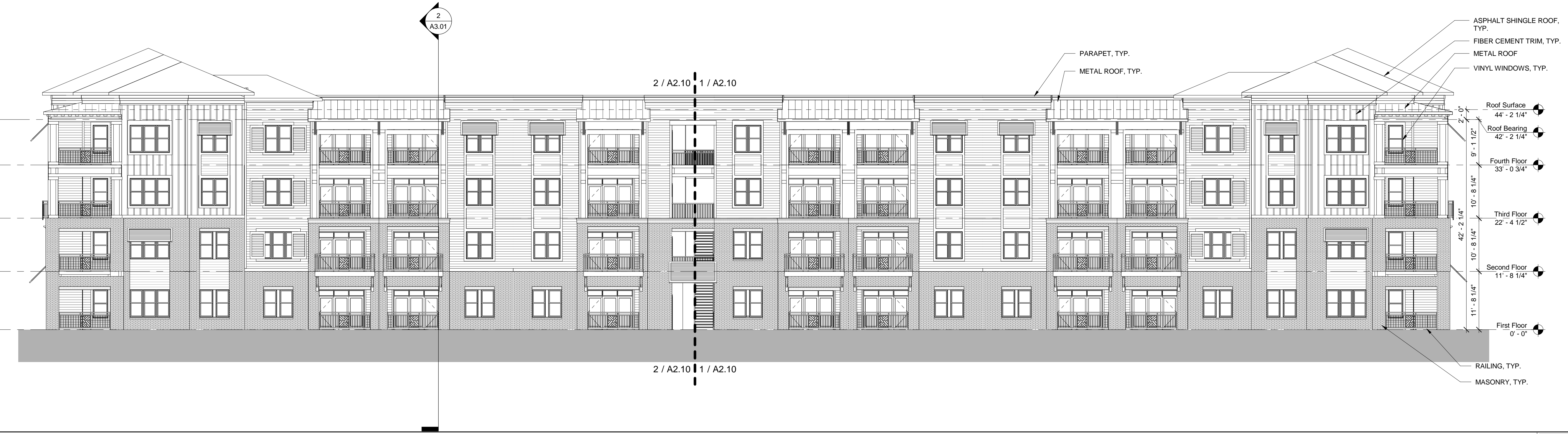
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OVERALL BUILDING ELEVATIONS



South Elevation 1  
3/32" = 1'-0"



North Elevation 2  
3/32" = 1'-0"

### GENERAL NOTES

- SEE WALL SECTIONS & ENLARGED ELEVATIONS FOR GUARDRAIL HEIGHTS. ALL BALCONIES OR WALKWAYS ELEVATED MORE THAN 30" IN VERTICAL RISE TO HAVE MINIMUM 3'-6" HIGH GUARDRAILS AS PER THE BUILDING CODE.
- PROVIDE VERTICAL EXPANSION JOINTS IN BRICK VENEER PER BIA STANDARDS. PROVIDE HORIZONTAL SUPPORTS PER STRUCTURAL DRAWINGS AND BIA STANDARDS WHERE EXCEEDS 30' IN HEIGHT.
- TIE IN ALL DOWNSPOUTS TO STORM DRAINS.
- ALL DRYER & BATH VENTS TO MATCH ADJACENT COLOR
- ALL FIBER CEMENT TRIM 5/4X THICKNESS, NUMBERS ON TRIM REPRESENT WIDTHS.
- REFER TO SPECIFICATIONS FOR ALL EXTERIOR MATERIALS. THE WALL SECTIONS AND DETAILS SHOWN IN THIS SET REFLECT FIBER CEMENT PANEL / SIDING WITH 5/4 TRIM. ALL MATERIAL WIDTHS TO REMAIN SAME SIZE IF ANY PRODUCT SUBSTITUTION IS MADE. CONTACT ARCHITECT IF THERE ARE ANY DISCREPANCIES IN DETAILS DUE TO PRODUCT SUBSTITUTIONS.
- REFER TO BUILDING PLAN FOR MASONRY LOCATIONS, INCLUDING THOSE NOT SHOWN IN THESE ELEVATIONS.
- SEE ROOF PLAN FOR OVERHANG DIAGRAM DESIGNS.
- APPLY AN ADDITIONAL 12" LAYER OF MOISTURE BARRIER AT INSIDE/OUTSIDE CORNERS FULL HEIGHT OF WALL (TYP.)
- PROVIDE CONT. BUILDING WRAP OVER SHEATHING - TYVEK "COMMERCIAL WRAP" TO BE BASIS OF DESIGNER SPECIFICATIONS.
- INSTALL BUILDING WRAP CONTINUOUS AT ALL WALL SURFACES PRIOR TO EXTERIOR FINISH INSTALLATION.
- TERM./FLASH BUILDING WRAP AT PENETRATIONS DETAILS & MANU. RECOMMENDATIONS.
- PROVIDE PRE-FAB. FLASHING BOOTS OR FLANGED EXHAUST LOUVER AT DUCT PENETRATIONS AT WALLS (TYP.)
- PROVIDE SEALANT AT VERTICAL TRANSITIONS BETWEEN WALL FINISHES.
- PROVIDE METAL FLASHING AT HORIZONTAL TRANSITIONS BETWEEN WALL FINISHES.

### SYMBOL LEGEND

- ⬇ DENOTES DOOR NUMBER (SEE SHEET A6.01 FOR DOOR SCHEDULE)
- ⬇ DENOTES WINDOW NUMBER (SEE SHEET A6.20 FOR SCHEDULE)

### KEY PLAN

15/05/2015 11:03:11 AM C:\30304217007 - Westfall Park Apartments - COWS - ELEV - Elevations\BldgElevations.dwg

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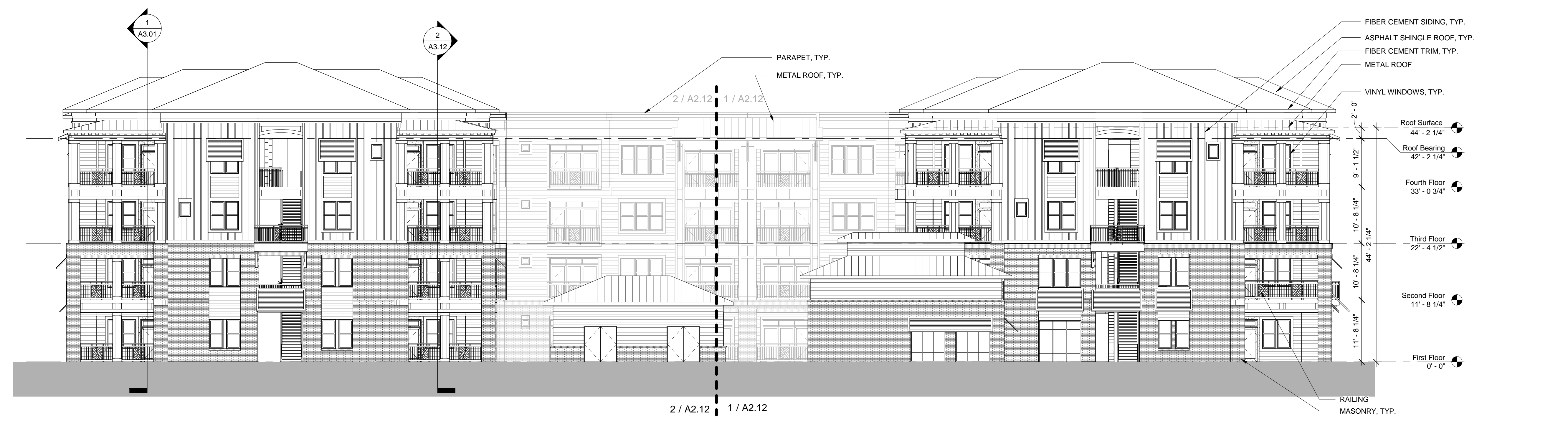
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**OVERALL BUILDING ELEVATIONS**



West Elevation 2  
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- INSTALL BUILDING WRAP CONTINUOUS AT ALL WALL SURFACES PRIOR TO EXTERIOR FINISH INSTALLATION.
- TERM./FLASH BUILDING WRAP AT PENETRATIONS DETAILS & MANU. RECOMMENDATIONS.
- PROVIDE PRE-FAB. FLASHING BOOTS OR FLANGED EXHAUST LOUVER AT DUCT PENETRATIONS AT WALLS (TYP.)
- PROVIDE SEALANT AT VERTICAL TRANSITIONS BETWEEN WALL FINISHES.
- PROVIDE METAL FLASHING AT HORIZONTAL TRANSITIONS BETWEEN WALL FINISHES.

### SYMBOL LEGEND

DENOTES DOOR NUMBER (SEE SHEET A6.01 FOR DOOR SCHEDULE)

DENOTES WINDOW NUMBER (SEE SHEET A6.20 FOR SCHEDULE)

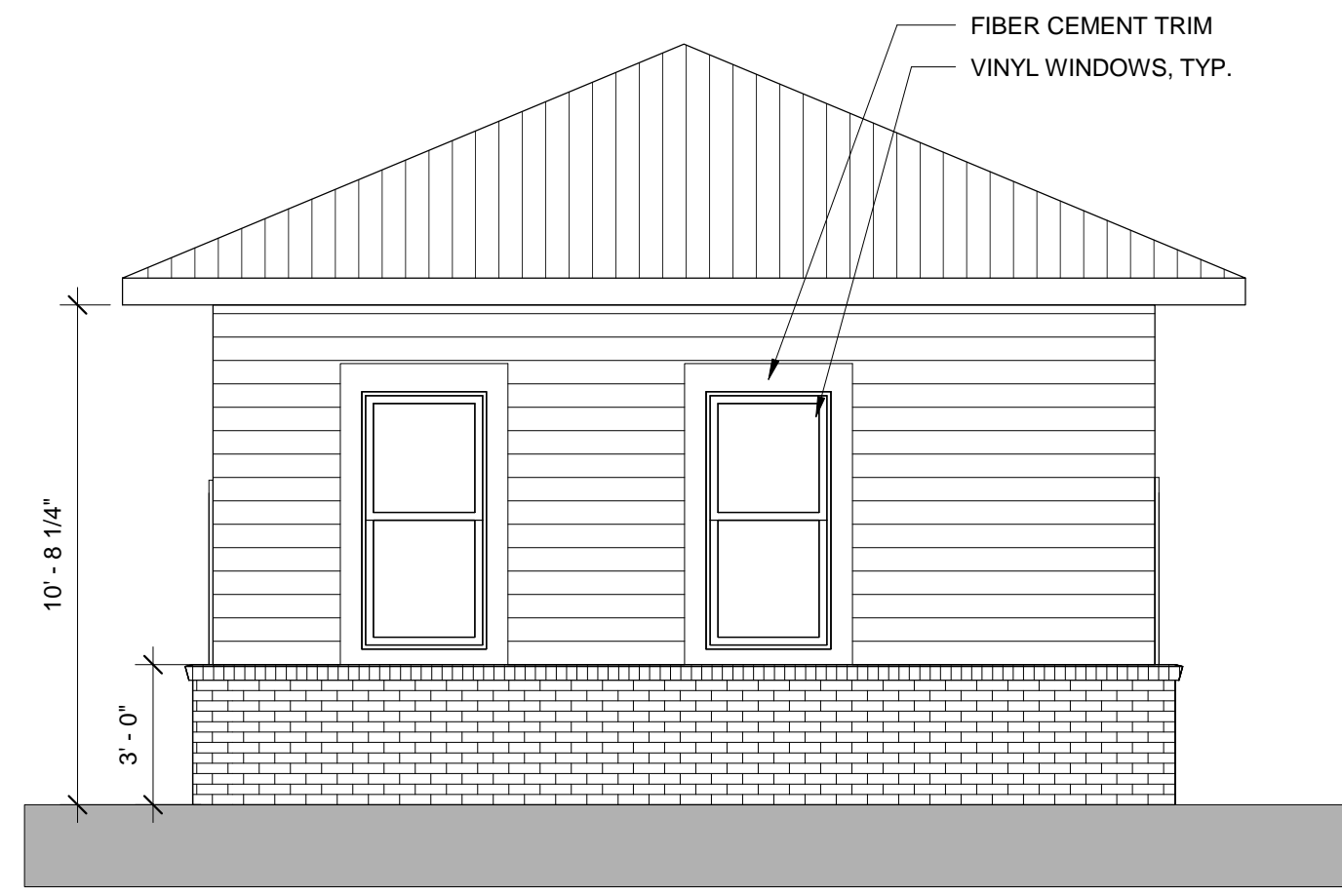
### KEY PLAN



15/05/2015 11:00:00 AM C:\30368\215007 - Westfall Park Apartments - COWS - ELEV - 2015\06\05\A2.01.dwg

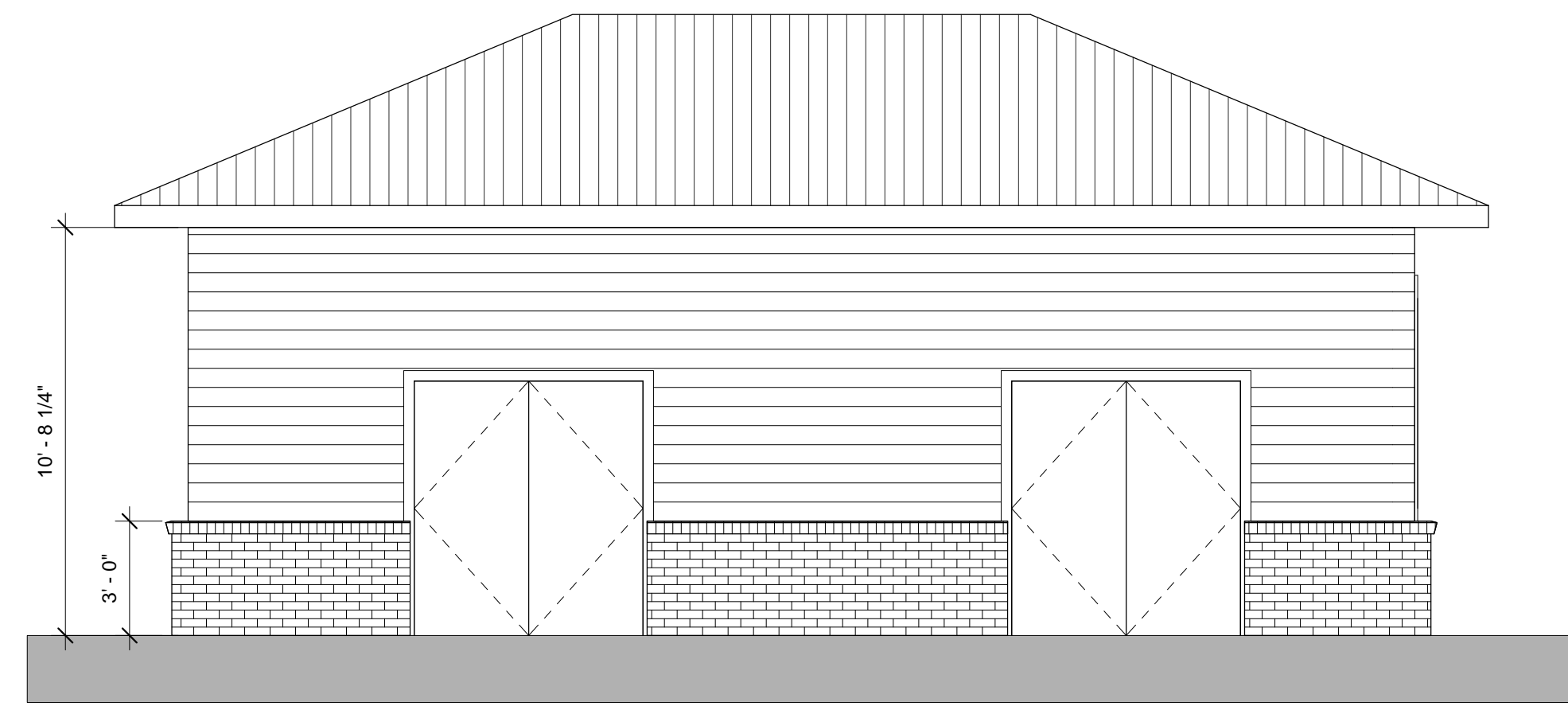
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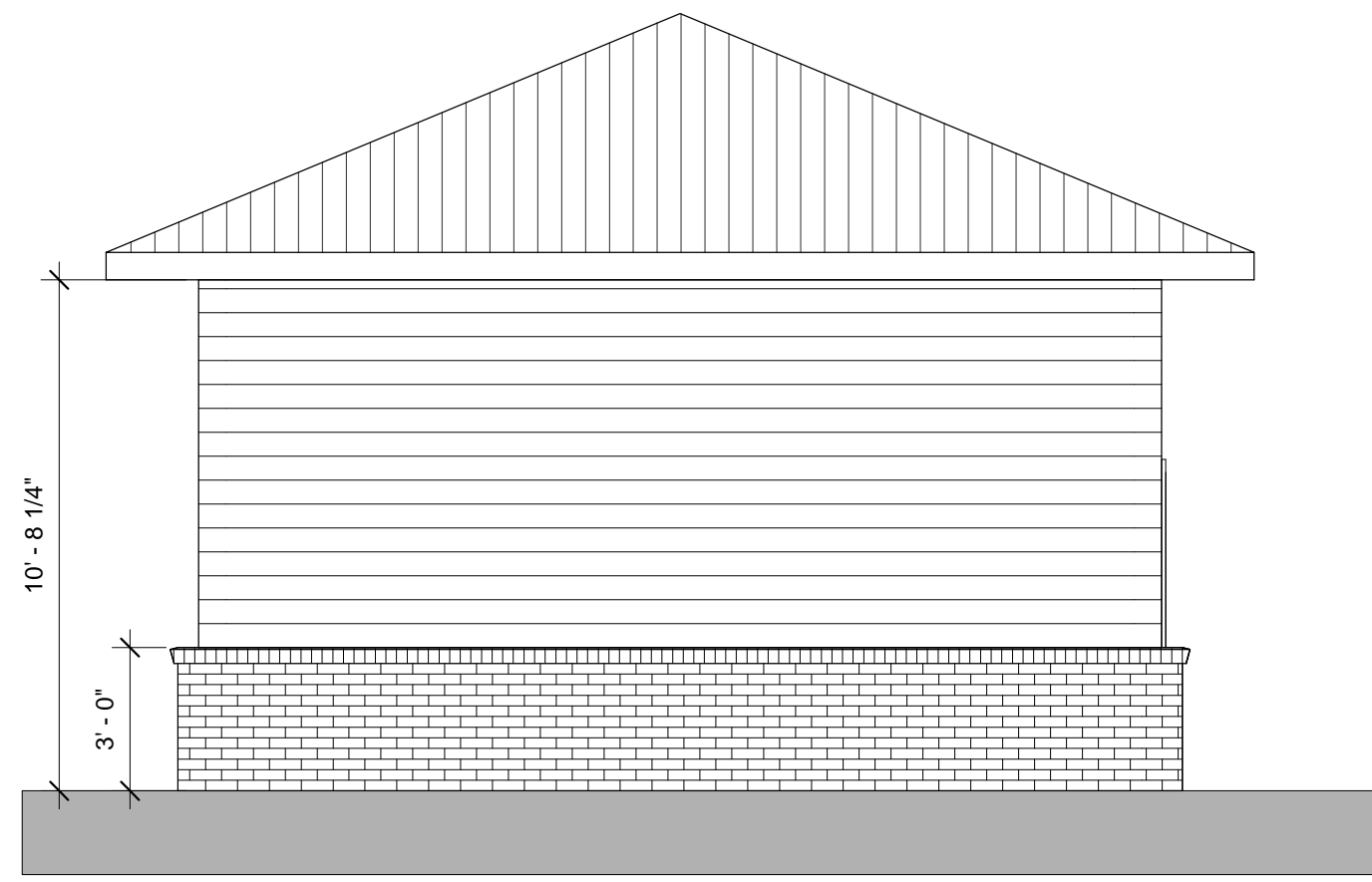
Pool Maintenance Bldg - South Elevation

1/4" = 1'-0" 5



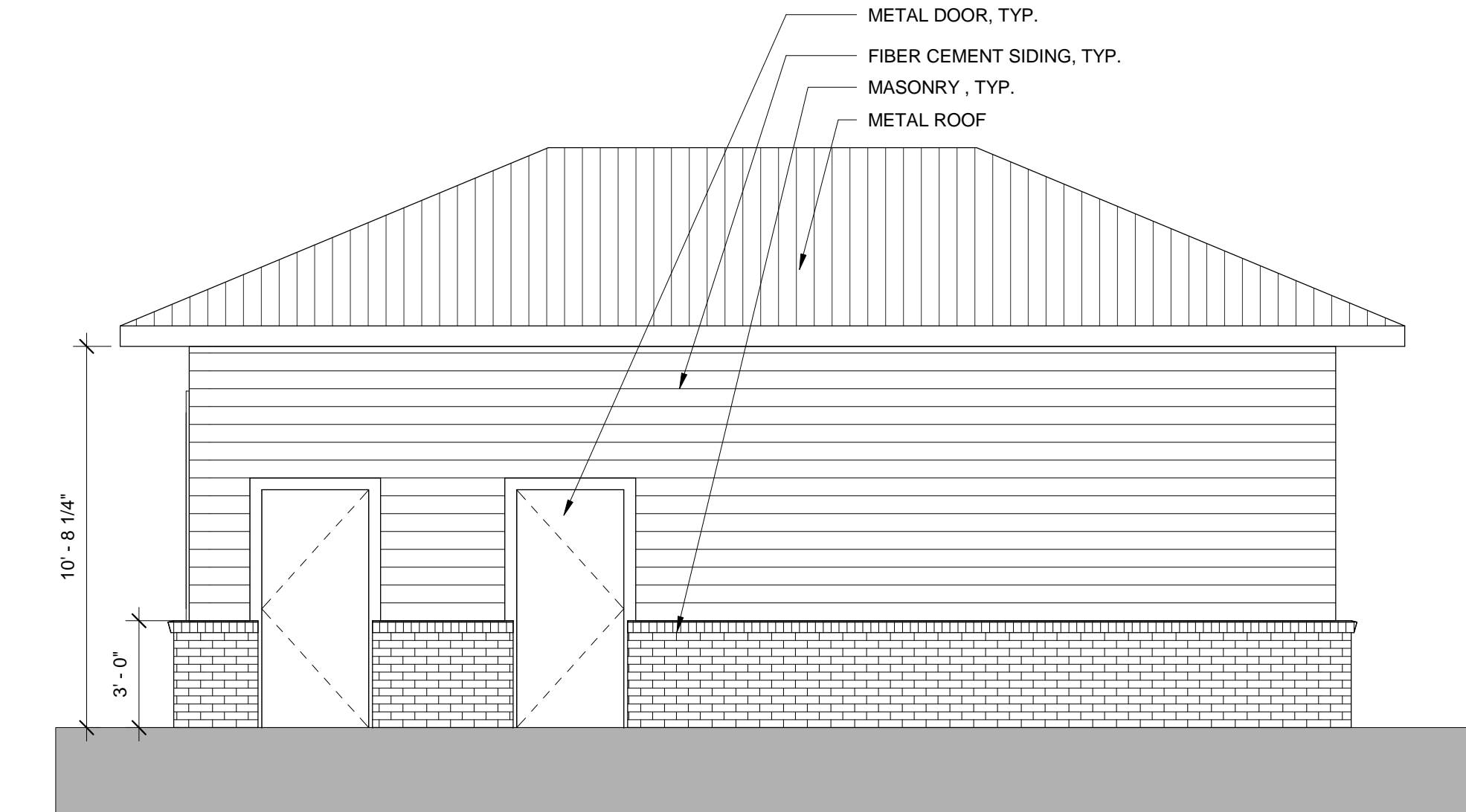
Pool Maintenance Bldg - West Elevation

1/4" = 1'-0" 3



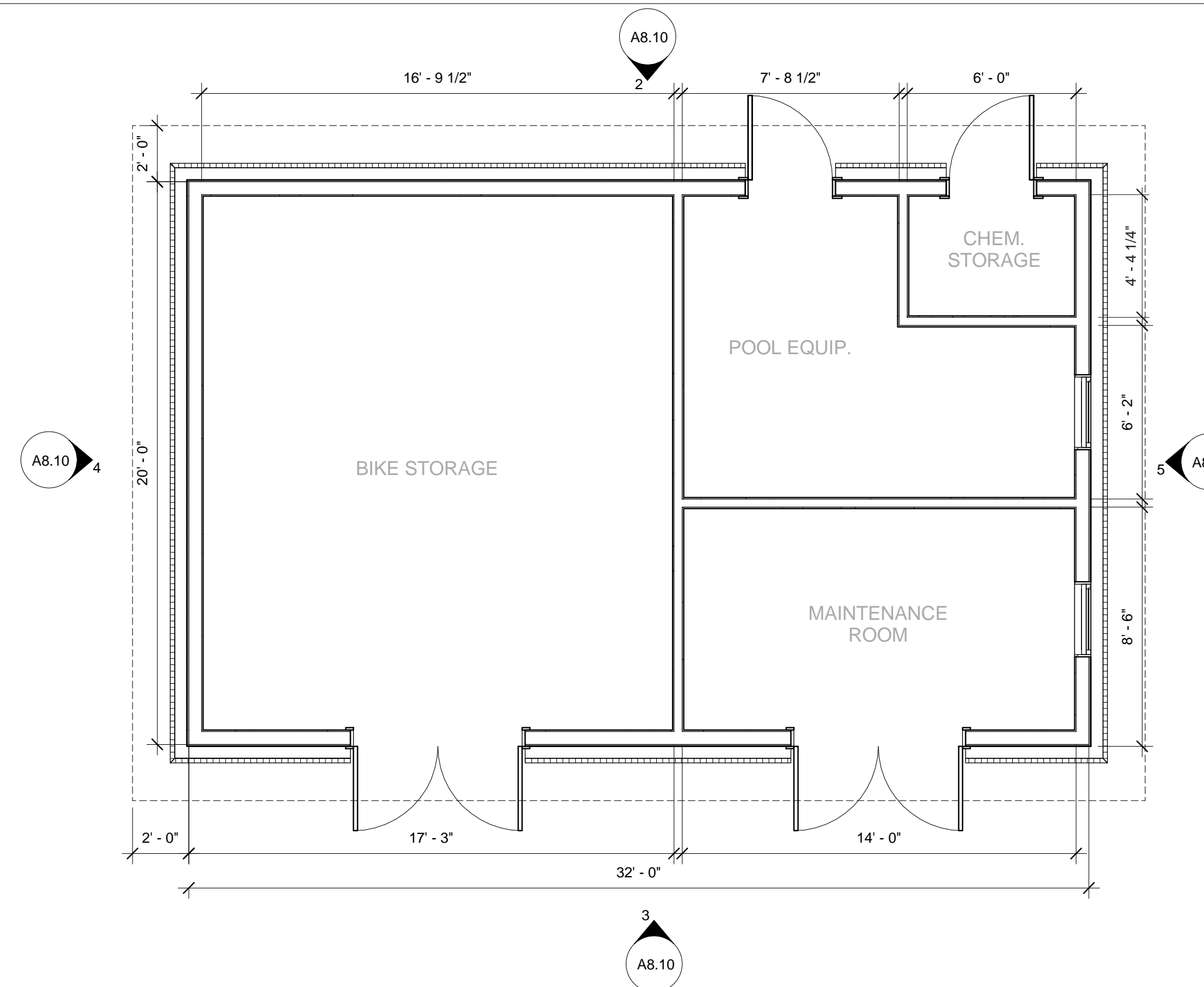
Pool Maintenance Bldg - North Elevation

1/4" = 1'-0" 4



Pool Maintenance Bldg - East Elevation

1/4" = 1'-0" 2



Pool Maintenance Floor Plan

1/4" = 1'-0" 1

GENERAL NOTES

- SEE WALL SECTIONS & ENLARGED ELEVATIONS FOR GUARDRAIL HEIGHTS. ALL BALCONIES OR WALKWAYS ELEVATED MORE THAN 30" IN VERTICAL RISE TO HAVE MINIMUM 3'-6" HIGH GUARDRAILS AS PER THE BUILDING CODE.
- PROVIDE VERTICAL EXPANSION JOINTS IN BRICK VENEER PER BIA STANDARDS. PROVIDE HORIZONTAL SUPPORTS PER STRUCTURAL DRAWINGS AND BIA STANDARDS WHERE EXCEEDS 30' IN HEIGHT.
- TIE IN ALL DOWNSPOUTS TO STORM DRAINS.
- ALL DRYER & BATH VENTS TO MATCH ADJACENT COLOR.
- ALL FIBER CEMENT TRIM 5/4X THICKNESS. NUMBERS ON TRIM REPRESENT WIDTHS.
- REFER TO SPECIFICATIONS FOR ALL EXTERIOR MATERIALS. THE WALL SECTIONS AND DETAILS SHOWN IN THIS SET REFLECT FIBER CEMENT PANEL / SIDING WITH 5/4 TRIM. ALL MATERIAL WIDTHS TO REMAIN SAME SIZE IF ANY PRODUCT SUBSTITUTION IS MADE. CONTACT ARCHITECT IF THERE ARE ANY DISCREPANCIES IN DETAILS DUE TO PRODUCT SUBSTITUTIONS.
- REFER TO BUILDING PLAN FOR MASONRY LOCATIONS, INCLUDING THOSE NOT SHOWN IN THESE ELEVATIONS.
- SEE ROOF PLAN FOR OVERHANG DIAGRAM DESIGNS.
- APPLY AN ADDITIONAL 12" LAYER OF MOISTURE BARRIER AT INSIDE/OUTSIDE CORNERS FULL HEIGHT OF WALL (TYP.)
- PROVIDE CONT. BUILDING WRAP OVER SHEATHING - TYVEK "COMMERCIAL WRAP" TO BE BASIS OF DESIGNER SPECIFICATIONS.
- INSTALL BUILDING WRAP CONTINUOUS AT ALL WALL SURFACES PRIOR TO EXTERIOR FINISH INSTALLATION.
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SYMBOL LEGEND

- XX DENOTES DOOR NUMBER (SEE SHEET A6.01 FOR DOOR SCHEDULE)
- ◇ XX DENOTES WINDOW NUMBER (SEE SHEET A6.20 FOR SCHEDULE) & A6.20 FOR STOREFRONT SCHEDULE

KEY PLAN



1815 S. Tryon St.,  
Suite A  
Charlotte, NC 28203  
704/333-7272  
ClineDesignAssoc.com

DPJ Residential  
**Westfall Park Apartments**  
**Mixed Use**  
1817 Sir Tyler Drive, Wilmington, NC 28405

NOT FOR CONSTRUCTION

Design Development

PROJECT:	215007
DATE:	6/05/15
REVISIONS:	DATE
1	Per COW Cmnts 6.19.15

DRAWN BY: Author  
CHECKED BY: Checker

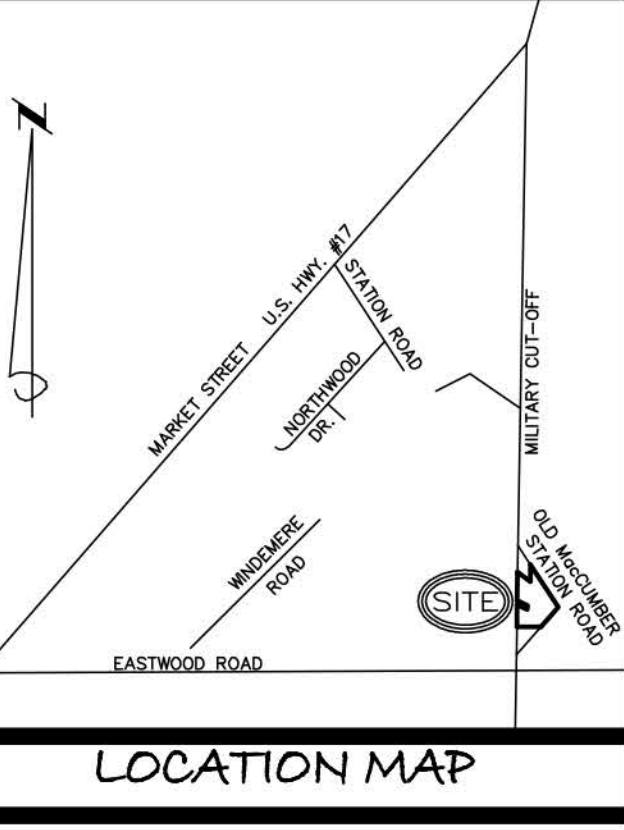
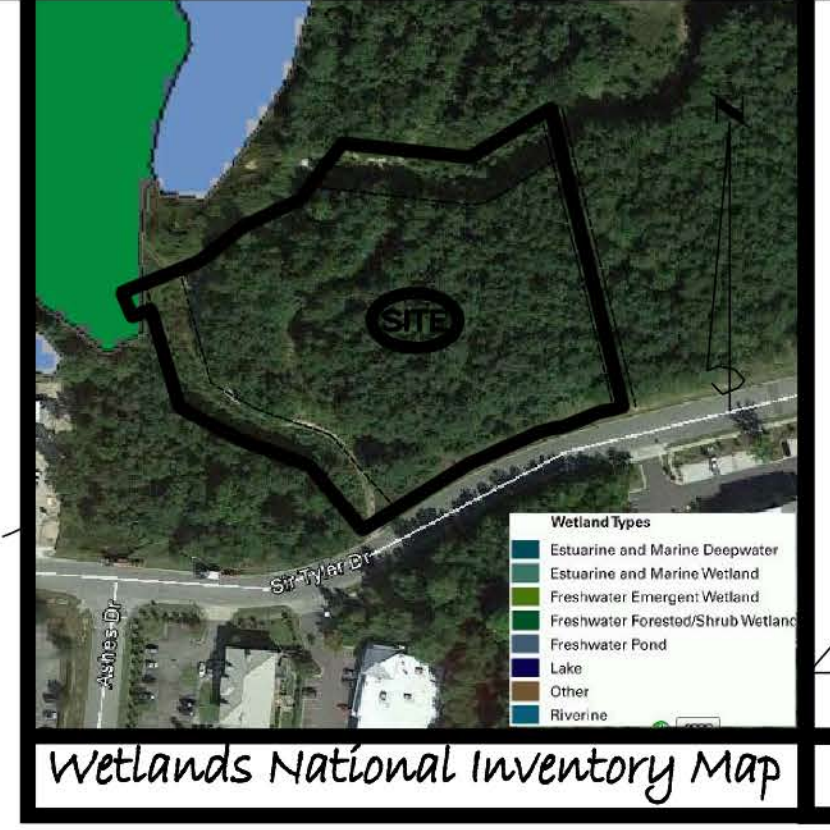
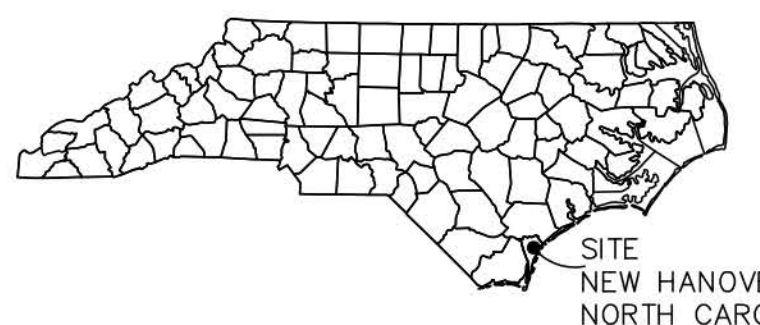
**POOL MAINTENANCE BLDG. PLAN & ELEVATIONS**

A8.10



1. Defects, liens, encumbrances, adverse claims or other matter, if any, created, first appearing in the public records or attaching subsequent to the Effective Date but prior to the date the proposed insured acquires for value of record the estate or interest or mortgage thereon covered by this Commitment. (NOT MATTERS OF SURVEY)
2. Taxes or assessments for the year 2015, and subsequent years, not yet due or payable. (NOT MATTERS OF SURVEY)
3. Covenants, conditions, restrictions, easements, and liens provided for in instrument(s) filed for record in Book 2698, Page 30, New Hanover County Registry, and any related maps, plans, bylaws and other document(s) and amendment(s), but omitting any covenants or restrictions, if any, based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, or source of income, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law. (SEE SETBACKS AS PLOTTED HEREON NOT MATTERS OF SURVEY)
4. Any right, easement, setback, interest, claim, encroachment, encumbrance, violation, variations or other adverse circumstance affecting the Title disclosed by plot(s) recorded in Map Book 53, Page 312, New Hanover County Registry. (NOT MATTERS OF SURVEY)
5. Any discrepancy, conflict, access, shortage in area or boundary lines, encroachment, encumbrance, violation, variation, overlap, setback, easement or claims of easement, riparian right, and title to land within roads, ways, railroads, watercourses, burial grounds, marshes, dredged or filled areas or land below the mean highwater mark or within the bounds of any adjoining body of water, or other adverse circumstance affecting the Title that would be disclosed by a current inspection and accurate and complete land survey of the Land. (SEE THIS SURVEY)
6. The correctness of the square footage/acreage computation of the Land is not insured. (SEE THIS SURVEY)
7. Rights of tenants in possession, if any, as tenants only, under unrecorded leases for a duration of less than three (3) years. (NOT MATTERS OF SURVEY)
8. Agreement Establishing Common Drive Easement and Associated Rights and Responsibilities recorded in Book 5413, Page 396, New Hanover County Registry. (EASEMENT AS SHOWN HEREON)
9. This policy does not insure against loss or damage arising by reason of matters of Title prior to May 13, 2003. (NOT MATTERS OF SURVEY)

EXHIBIT "A"  
 Legal Description  
 Lying and being situate in New Hanover County, North Carolina, and being more particularly described as follows:  
 Being all of E2D1, containing 146,335 square feet and approximately 3.36 acres, as the same is shown on that certain map entitled "Division of Tract E2D, Section 2 Westfall Park", dated October 14, 2008, prepared by Arnold W. Carson, PLS PC and recorded in Map Book 53, Page 312, New Hanover County Registry.



**Bateman Civil Survey Company**  
 Engineers • Surveyors • Planners  
 200 N. Main Street, Holly Springs, NC 27540  
 Phone: 919.577.1080 Fax: 919.577.1081  
 NCBELS FIRM No. C-2378

**LOT INFORMATION:**

PROPERTY OWNER: Stewart Realty Investments, LLC  
 2501 W. Dixon Boulevard  
 Shelby, NC 28150  
 (O)704.482.1399  
 Email to: Ronda.Freeman@umfl.com

TRACT E2D1, WESTFALL PARK SEC 2, M.B. 53, PG. 312  
 ADDRESS: 1817 SIR TYLER DRIVE  
 PIN #: 315819.51.3414.000  
 PARID: R05100-003-099-000  
 DB 5473 PG. 454  
 TOTAL LOT AREA = 3.36 AC = 146,335 SF

- NOTES:
1. THIS TRACT IS LOCATED IN ZONE "X" ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 3720315800J, DATED 4/3/06.
  2. ZONING: O&I-1 OFFICE & INSTITUTION; ZONING AND ASSOCIATED SETBACKS PROVIDED BY CLINE DESIGN ASSOC., TO BE VERIFIED BY THE INSURER.

- Minimum lot area (square feet): 15,000.
- Maximum lot coverage: 40%.
- Minimum lot width (feet): 80.
- Minimum front setback (feet): 20.
- Minimum rear setback (feet): 20.
- Minimum interior side setback (feet): 10.
- Minimum corner lot side setback (feet): 20.
- Height (feet): 45.

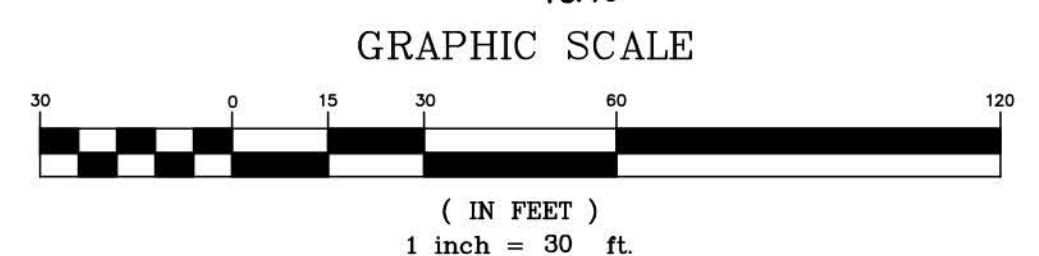
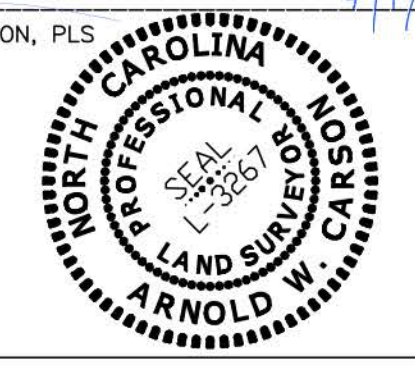
- SETBACKS FROM RESTRICTIONS (BK. 2698, PG. 41):  
 TO BE VERIFIED BY THE INSURER:  
 FRONT: 50'  
 ALL OTHER BOUNDARIES: 15'
3. STATUS REPORT OF North Carolina 811 - Call Center  
 Ticket: A150830170  
 Order Date: March 23, 2015  
 Members who haven't responded: As of April 7th, 2015
- | CODE    | NAME                               |
|---------|------------------------------------|
| ATT315* | ATT/D (DISTRIBUTION)               |
| CFP01   | CAPE FEAR PUBLIC UTILITY AUTHORITY |
| CPL40*  | DUKE ENERGY                        |

38R  
 M.B. 41  
 PG. 75

"TO DPJ Residential Acquisitions, LLC, and Chicago Title Insurance Company, THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-4, 6(b), 8, 11(b), 13, 14, 16, 17, 18, 19, 20(a), 21, AND 22 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON April 1, 2015.

I, ARNOLD W. CARSON, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY PERFORMED UNDER MY SUPERVISION (DEED'S RECORDED IN BOOK 5473, PAGE 454 AND BOOK 5413, PAGE 396, THAT THE RATIO OF PRECISION AS CALCULATED EXCEEDS 1:30,000; THAT THIS PLAT MEETS THE REQUIREMENTS OF "THE STANDARDS OF PRACTICE FOR LAND SURVEYING" IN NORTH CAROLINA (G.S. 21-56.1600).

ARNOLD W. CARSON, PLS  
 LICENSE NUMBER: L-3267



N.C. GRID 183  
 MAP BOOK 53, PAGE 312

TRACT E2C  
 M.B. 51, PG. 21  
 CONSERVATION EASEMENT  
 M.B. 51, PG. 104

PARID: R05100-003-099-000  
 WESTFALL RESEARCH PARK 36 ACRE  
 1809 SIR TYLER DR  
 5170 1231

PARID: R05100-003-101-000  
 WESTFALL PARK OWNERS ASSOC INC  
 0 SIR TYLER DR  
 3785 0972  
 2698 30

POND SITE #1  
 (PRIVATE COMMON AREA)  
 M.B. 53, PG.312

TRACT F  
 M.B. 43, PG. 380  
 CONSERVATION EASEMENT  
 M.B. 51, PG. 104

TRACT E2D1  
 146,335 S.F.  
 3.36 ACs  
 VACANT WOODED TRACT



- LEGEND**
- EXISTING IRON
  - EXISTING CONCRETE MONUMENT (CONTROL POINT)
  - SET IRON
  - ✓ POINT FROM REFERENCE (NOT A RESULT OF THIS SURVEY)
  - SUBJECT SITE BOUNDARY
  - CENTER LINE
  - RIGHT OF WAY LINE
  - ADJACENT PROPERTY LINE
  - EASEMENT LINE

TRACT E2C  
 M.B. 51, PG. 21  
 CONSERVATION EASEMENT  
 M.B. 51, PG. 104

Sheet 1 of 2  
 OF  
 ALTA/ACSM LAND TITLE SURVEY

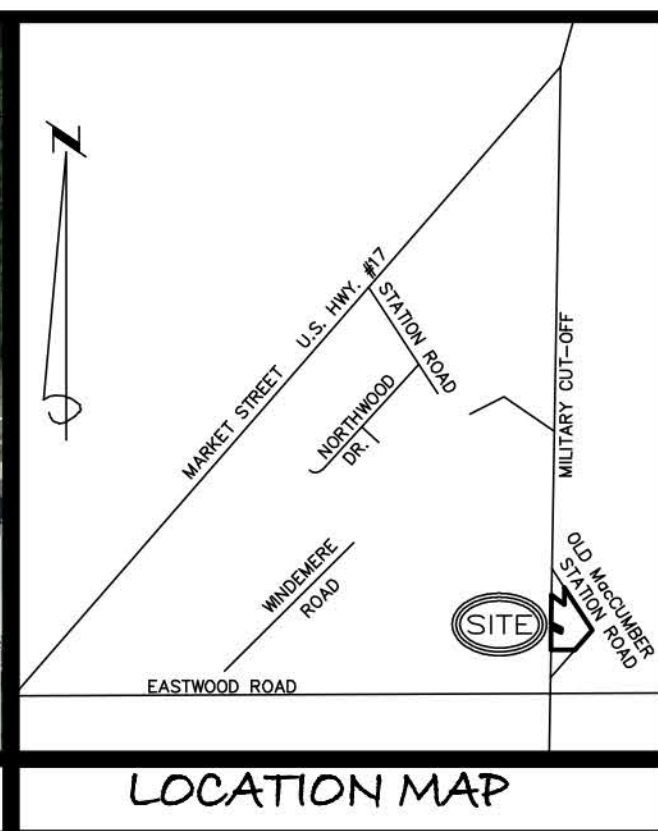
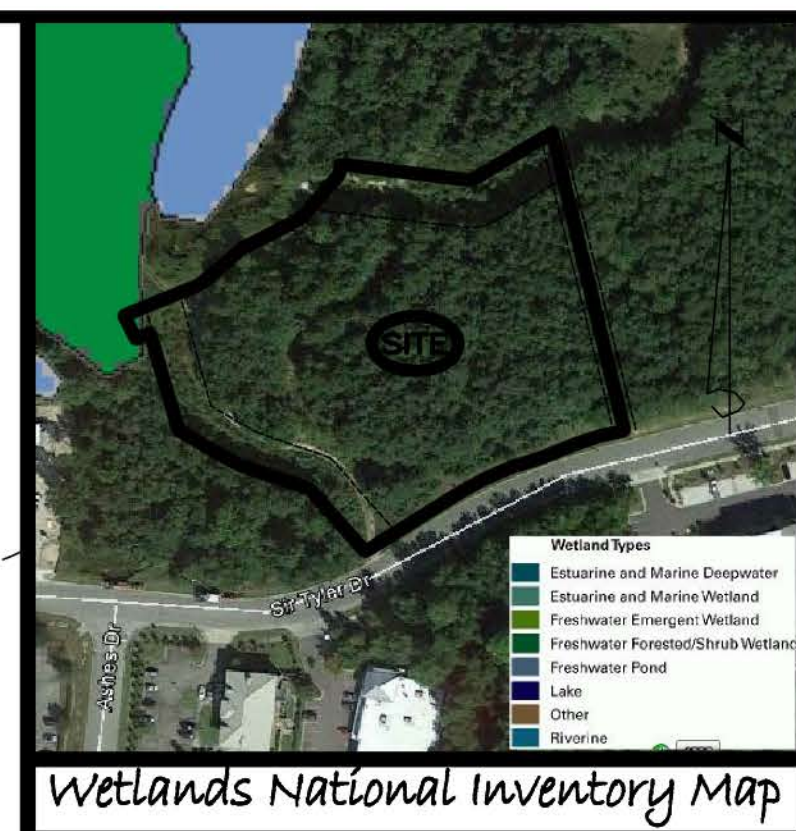
TRACT E2D1, SECTION 2 OF WESTFALL PARK  
 AS RECORDED IN M.B. 53, PG. 32 AND D.B. 874, PAGE 484 OF THE NEW HANOVER COUNTY REGISTER OF DEEDS OFFICE FOR  
 DPJ Residential Acquisitions, LLC  
 1320 Fillmore Ave., Suite 100  
 Charlotte, NC 28203

CITY OF WILMINGTON  
 TOWNSHIP: WILMINGTON  
 COUNTY: NEW HANOVER  
 NORTH CAROLINA  
 MARCH 19, 2015 -

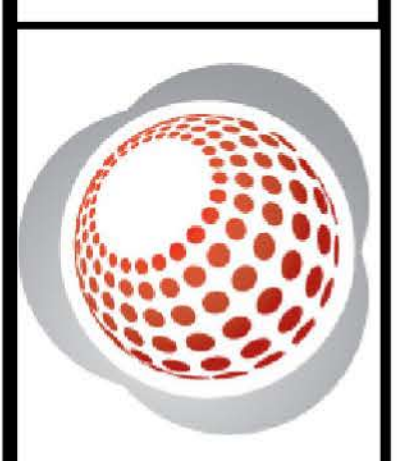
Drawn By: MJG/AWC  
 Checked By: AWC  
 Scale: 1" = 30'  
 Project Number: 15W034  
**ALTA**  
 1 OF 2

NO.	REVISION DESCRIPTION	DATE
1	ADDED CLIENT PROVIDED ZONING AND SETBACKS (Option A&B), SPLIT INTO TWO SHEETS (BASE 4 TOPO)	4/1/2015
2	REPLACED ZONING AND SETBACKS WITH CLINE DESIGN ASSOC. PROVIDED ZONING AND SETBACKS	4/7/2015
3	ADDED 25' CONSERVATION SETBACK AS REQUESTED BY CLIENT	4/8/2015





**Bateman Civil Survey Company**  
 Engineers • Surveyors • Planners  
 200 N. Main Street, Holly Springs, NC 27540  
 Phone: 919.577.1080 Fax: 919.577.1081  
 NCBELS FIRM No. C-2378



**ALTA/ACSM LAND TITLE SURVEY**  
 OF  
**TRACT E2D1, SECTION 2 OF WESTFALL PARK**  
 AS RECORDED IN M.B. 51, PG. 32 AND D.B. 87A, PAGE 484 OF THE NEW HANOVER COUNTY REGISTER OF DEEDS OFFICE FOR  
**DPJ Residential Acquisitions, LLC**  
 1320 Fillmore Ave., Suite 100  
 Charlotte, NC 28203

CITY OF WILMINGTON  
 TOWNSHIP: WILMINGTON  
 COUNTY: NEW HANOVER  
 NORTH CAROLINA  
 MARCH 19, 2015 -  
 Drawn By: M.JG/AWC  
 Checked By: AWC  
 Scale: 1" = 30'  
 Project Number: 15W034  
**ALTA**  
**2 OF 2**

N.C. GRID '83  
 MAP BOOK 53, PAGE 312

**TRACT E2C**  
 M.B. 51, PG. 21  
 CONSERVATION EASEMENT  
 M.B. 51, PG. 104

PARID: R05100-003-101-000  
 WESTFALL PARK OWNERS ASSOC INC  
 0 SIR TYLER DR  
 3785 0972  
 2698 30

POND SITE #1  
 (PRIVATE COMMON AREA)  
 M.B. 53, PG.312

PARID: R05100-003-082-000 OLD  
 MACCUMBER DUMP TRACT LLC  
 620 OLD MACCUMBER STATION RD  
 3783 0968  
 5170 1231

**TRACT F**  
 M.B. 43, PG. 380  
 CONSERVATION EASEMENT  
 M.B. 51, PG. 104

PARID: R05100-003-100-000  
 WESTFALL RESEARCH PARK 36 ACRE  
 1829 SIR TYLER DR  
 3785 0972

**TRACT E2D2**  
 M.B. 53, PG.312

**TRACT E2D1**  
 146,335 S.F.  
 VACANT WOODED TRACT

**LEGEND**

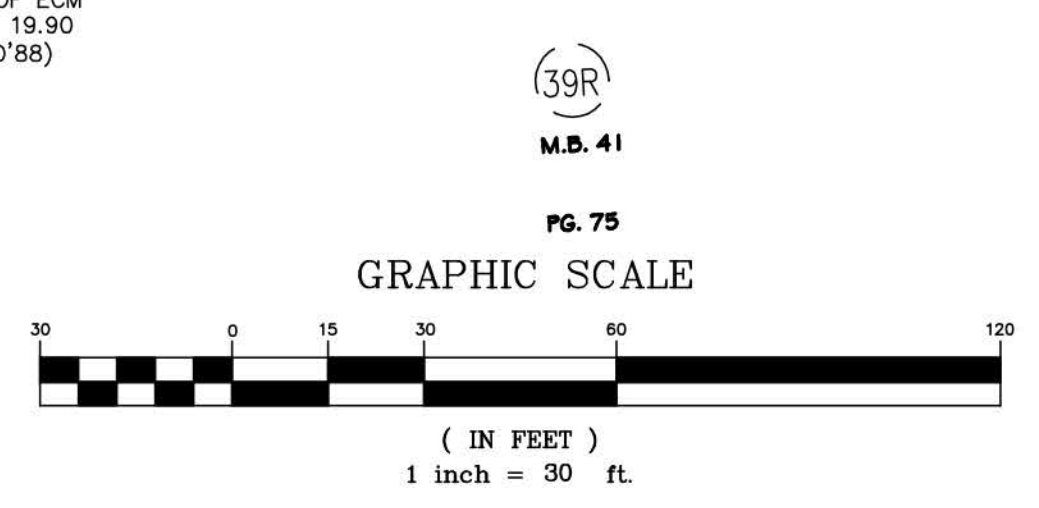
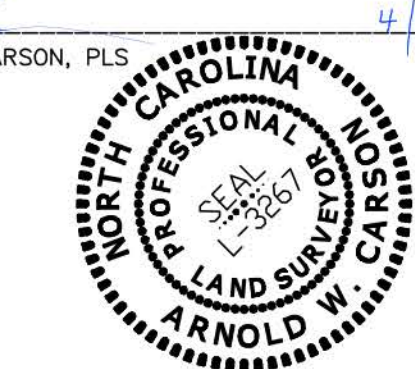
- EXISTING IRON
- EXISTING CONCRETE MONUMENT (CONTROL POINT)
- SET IRON
- △ POINT FROM REFERENCE (NOT A RESULT OF THIS SURVEY)
- ▽ WATER VALVE
- ⊙ SANITARY SEWER MANHOLE
- ⊕ STORMDRAIN MANHOLE
- STORMDRAIN CURB INLET
- SUBJECT SITE BOUNDARY
- CENTER LINE
- RIGHT OF WAY LINE
- ADJACENT PROPERTY LINE
- EASEMENT LINE
- = 12" OAK
- = 10" DOGWOOD
- = 10" MAPLE
- = 10" GUM
- = 10" PINE

(38R)  
 M.B. 41  
 PG. 75

"TO DPJ Residential Acquisitions, LLC, and Chicago Title Insurance Company, THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-4, 6(b), 8, 11(b), 13, 14, 16, 17, 18, 19, 20(a), 21, AND 22 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON April 1, 2015.

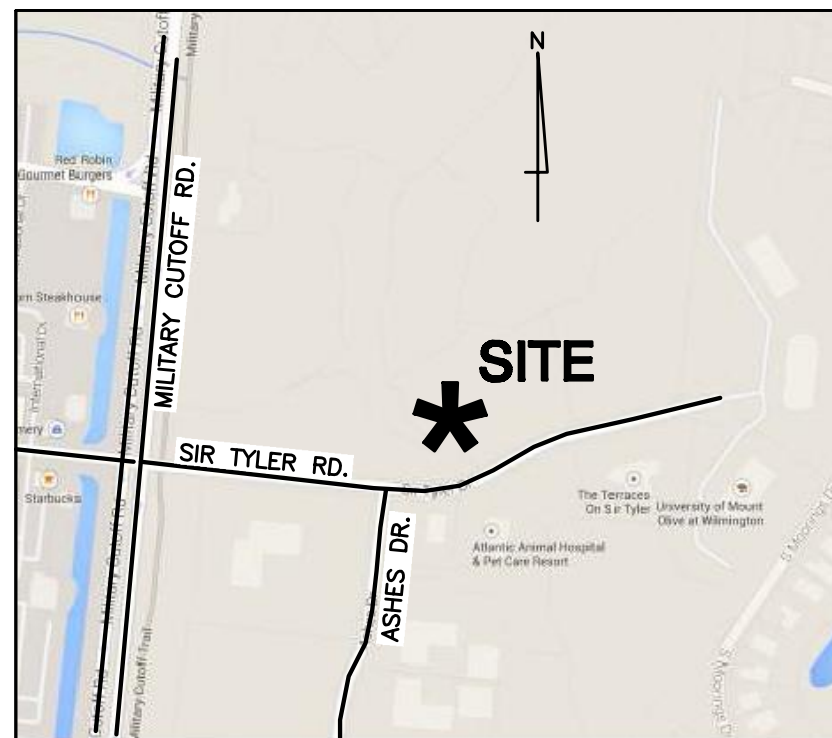
I, ARNOLD W. CARSON, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY PERFORMED UNDER MY SUPERVISION (DEED'S RECORDED IN BOOK 5473, PAGE 454 AND BOOK 5413, PAGE 396, THAT THE RATIO OF PRECISION AS CALCULATED EXCEEDS 1:30,000; THAT THIS PLAT MEETS THE REQUIREMENTS OF "THE STANDARDS OF PRACTICE FOR LAND SURVEYING" IN NORTH CAROLINA (G.S. 21-56.1600).

ARNOLD W. CARSON, PLS  
 4/1/15  
 LICENSE NUMBER: L-3267



(40R)  
 M.B. 41  
 PG. 75





LOCATION MAP

NTS

# CLINE DESIGN

125 N. Harrington St.  
Raleigh, NC 27603  
919/833-6413  
919/836-1280 FAX  
ClineDesignAssoc.com  
Attn: Chris Tingler

**NORRIS & TUNSTALL**

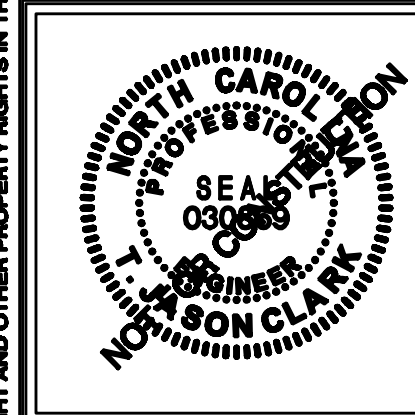
**CONSULTING ENGINEERS, P.C.**

902 MARKET STREET  
WILMINGTON, NC 28401  
PHONE (910) 343-9653  
FAX (910) 343-9604  
LICENCE #C-3641

**DPJ Residential**  
**Westfall Park Apartments Mixed Use**  
1817 Sir Tyler Drive  
Wilmington, North Carolina

Preliminary  
TRC Review

NOT FOR CONSTRUCTION



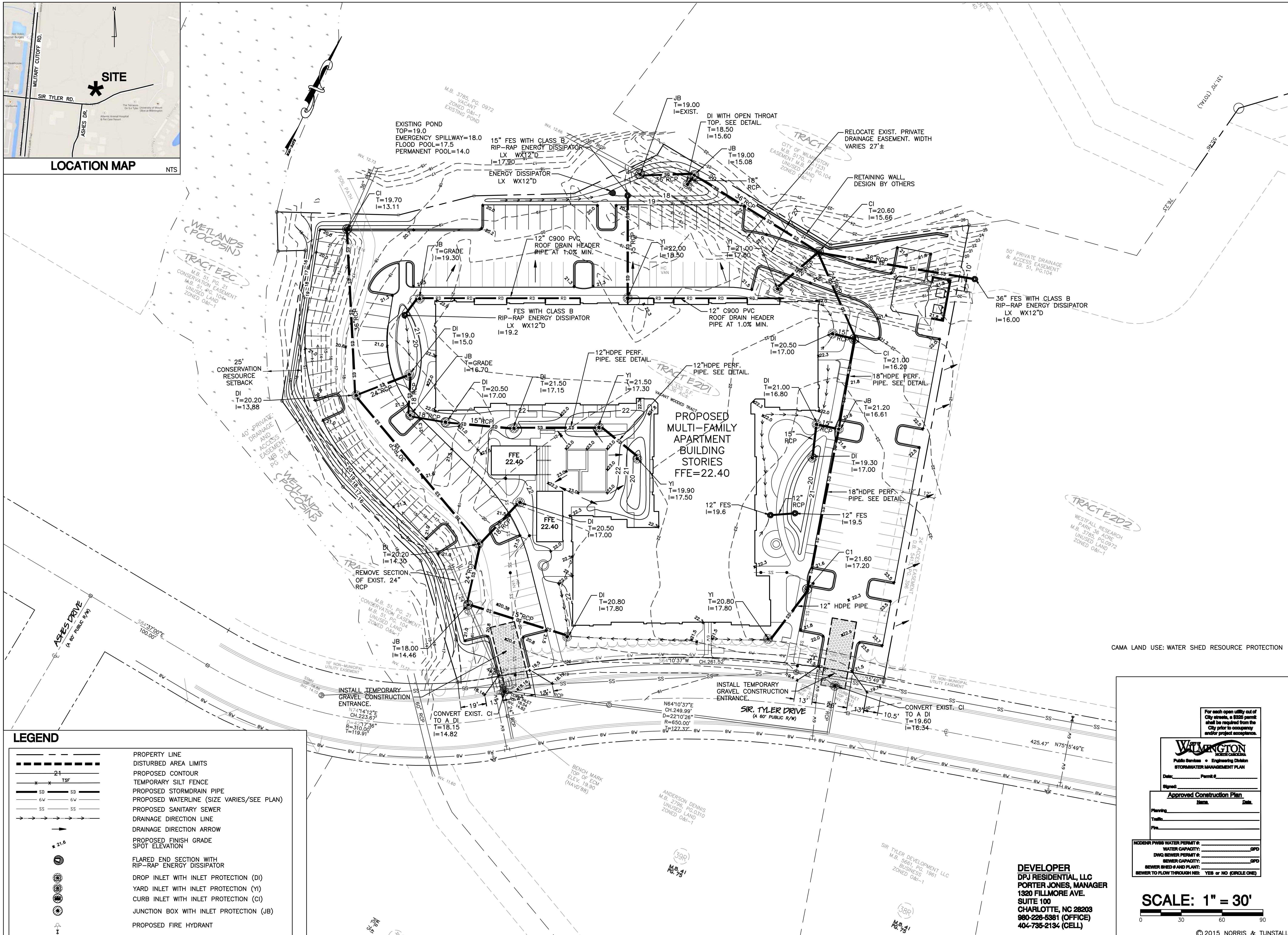
PROJECT: 215007  
DATE: 04.8.2015  
REVISIONS: \_\_\_\_\_ DATE \_\_\_\_\_  
PER COW COMMENTS 6.18.15

APPROVED CONSTRUCTION PLAN  
Name: \_\_\_\_\_ Date: \_\_\_\_\_  
Planning: \_\_\_\_\_  
Traffic: \_\_\_\_\_  
Fire: \_\_\_\_\_

DEVELOPER  
DPJ RESIDENTIAL, LLC  
PORTER JONES, MANAGER  
1320 FILLMORE AVE.  
SUITE 100  
CHARLOTTE, NC 28203  
980-226-5381 (OFFICE)  
404-735-2134 (CELL)

SCALE: 1" = 30'

© 2015 NORRIS & TUNSTALL



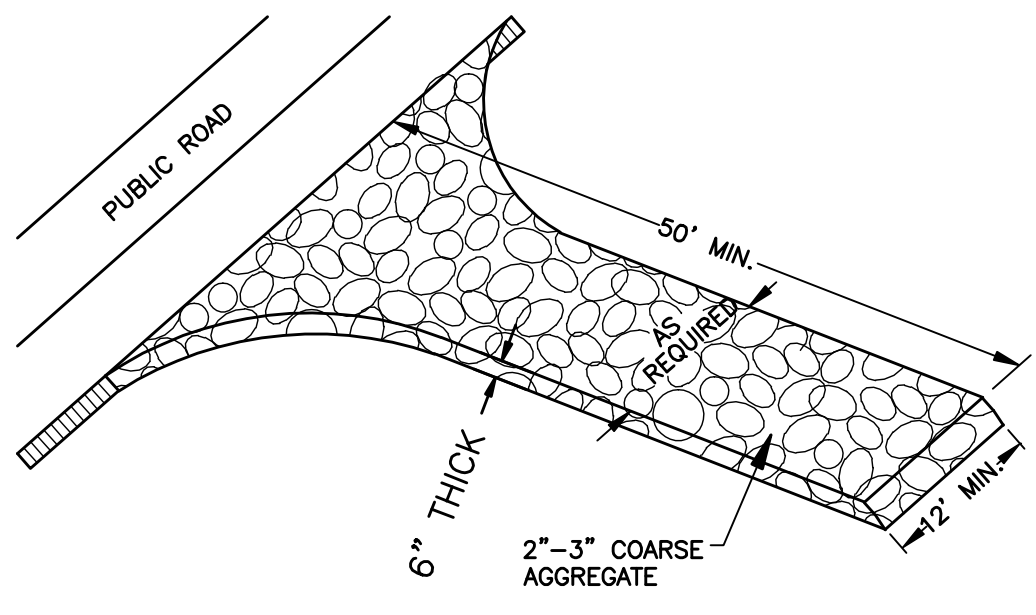
**LEGEND**

	PROPERTY LINE
	DISTURBED AREA LIMITS
	PROPOSED CONTOUR
	TEMPORARY SILT FENCE
	PROPOSED STORMDRAIN PIPE
	PROPOSED WATERLINE (SIZE VARIES/SEE PLAN)
	PROPOSED SANITARY SEWER
	DRAINAGE DIRECTION LINE
	DRAINAGE DIRECTION ARROW
	PROPOSED FINISH GRADE SPOT ELEVATION
	FLARED END SECTION WITH RIP-RAP ENERGY DISSIPATOR
	DROP INLET WITH INLET PROTECTION (DI)
	YARD INLET WITH INLET PROTECTION (YI)
	CURB INLET WITH INLET PROTECTION (CI)
	JUNCTION BOX WITH INLET PROTECTION (JB)
	PROPOSED FIRE HYDRANT

CAMA LAND USE: WATER SHED RESOURCE PROTECTION

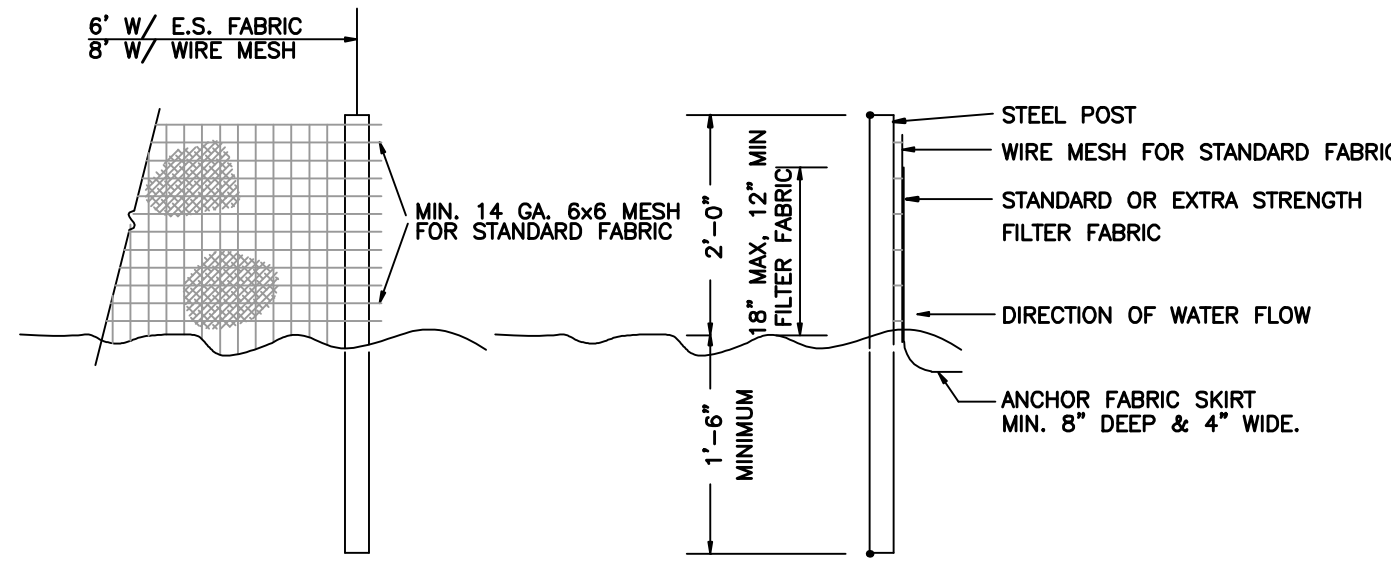
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NOT TO SCALE

**1 TEMPORARY GRAVELLED CONSTRUCTION ENTRANCE**

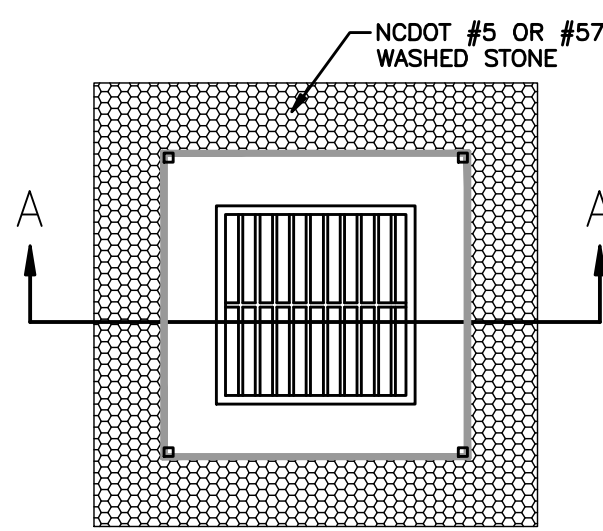


NOTES:

1. SYN. FENCE FABRIC SHALL BE MIN. OF 30" IN WIDTH WITH 30 LB/IN TENSILE STRENGTH FOR STANDARD FABRIC AND 50 LB/IN FOR EXTRA STRENGTH.
2. FABRIC SHALL BE CONTINUOUS LENGTH. IF JOINTS ARE NECESSARY, LAP FABRIC POST TO POST.
3. STEEL POST SHALL BE MIN 4' IN HEIGHT AND BE OF THE SELF-FASTENER STEEL ANGLE TYPE.

NOT TO SCALE

**2 TEMPORARY SILT FENCE**



CONSTRUCTION SEQUENCE:

1. UNIFORMLY GRADE A SHALLOW DEPRESSION APPROACHING THE INLET.
2. DRIVE 5" STEEL POST 2' INTO THE GROUND SURROUNDING THE INLET. SPACE POST EVENLY AROUND THE PERIMETER OF THE INLET, A MAXIMUM OF 4' APART.
3. SURROUND THE POST WITH WIRE MESH HARDWARE CLOTH. SECURE THE WIRE MESH TO THE STEEL POST AT THE TOP, MIDDLE AND BOTTOM. PLACING A 2" FLAP OF THE WIRE MESH UNDER THE GRAVEL FOR ANCHORING IS RECOMMENDED.
4. PLACE CLEAN GRAVEL (NCDOT #5 OR #57 STONE) ON A 2:1 SLOPE WITH A HEIGHT OF 18" AROUND THE WIRE, AND SMOOTH TO AN EVEN GRADE.
5. ONCE THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE ACCUMULATED SEDIMENT, AND ESTABLISH FINAL GRADING ELEVATIONS.
6. COMPACT THE AREA PROPERLY AND STABILIZE IT WITH GROUND COVER.

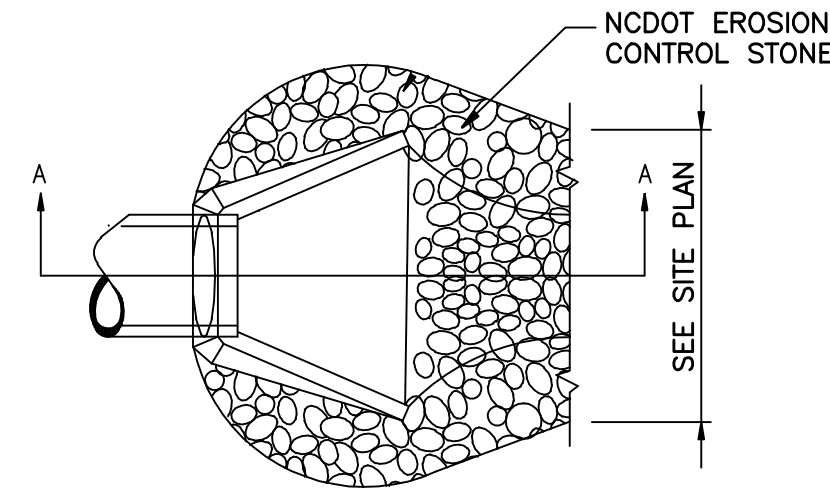
MAINTENANCE:

INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT. CLEAR THE MESH WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REPLACE STONE AS NEEDED.

SECTION A-A

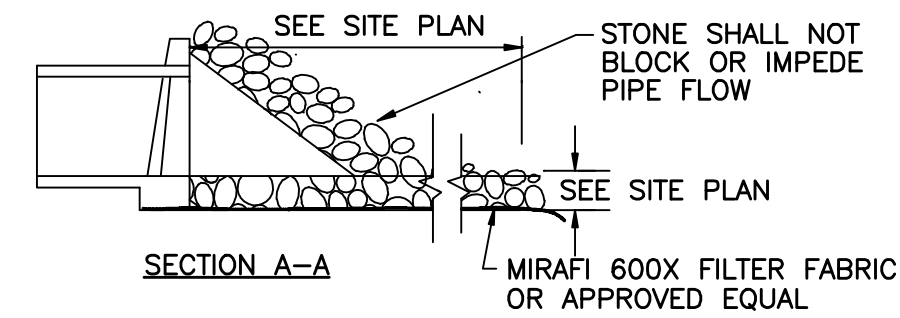
NOT TO SCALE

**3 HARDWARE CLOTH AND GRAVEL INLET PROTECTION**



NOT TO SCALE

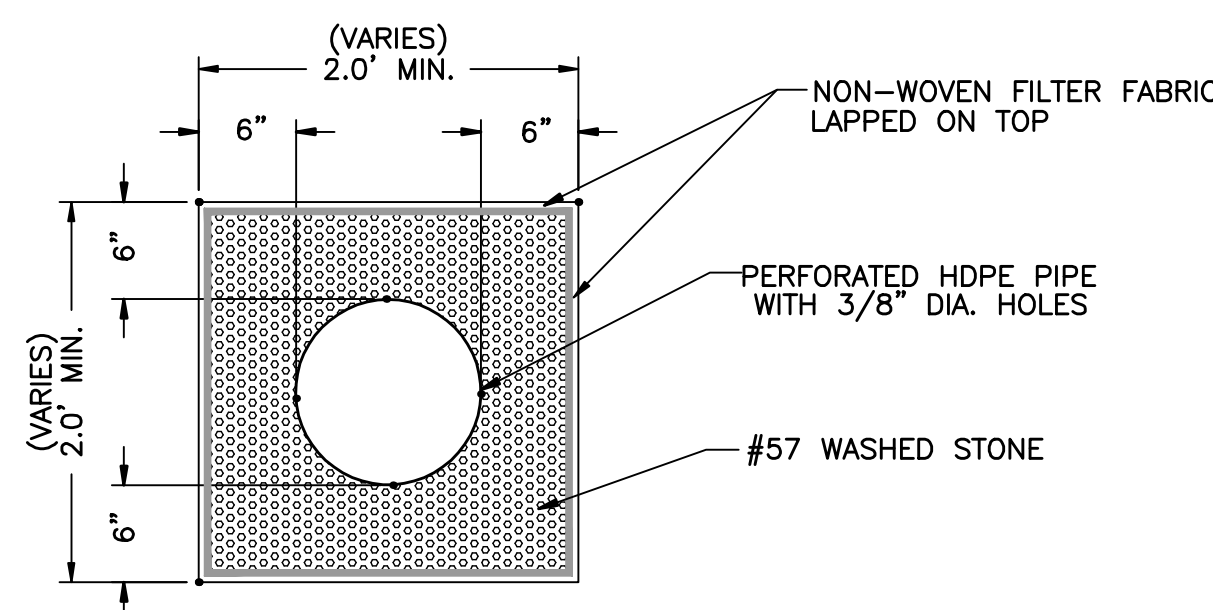
**4 ENERGY DISSIPATOR**



NOTE: FILTER FABRIC AND STONE SHALL BE TOED UNDER FLARED END SECTION

NOT TO SCALE

**5 INFILTRATION TRENCH FOR HDPE PIPE DETAIL**



NOT TO SCALE

**EROSION CONTROL NOTES AND MAINTENANCE PLAN:**

1. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL, BUT IN NO CASE, LESS THAN ONCE EVERY WEEK AND WITHIN 24 HOURS OF EVERY HALF-INCH RAINFALL.
2. ALL POINTS OF EGRESS WILL HAVE CONSTRUCTION ENTRANCES THAT WILL BE PERIODICALLY TOP-DRESSED WITH AN ADDITIONAL 2 INCHES OF #4 STONE TO MAINTAIN PROPER DEPTH. THEY WILL BE MAINTAINED IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE SITE. IMMEDIATELY REMOVE OBJECTIONABLE MATERIAL SPILLED WASHED OR TRACKED ONTO THE CONSTRUCTION ENTRANCE OR ROADWAYS.
3. SEDIMENT WILL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL INLET PROTECTION, BLOCK AND GRAVEL INLET PROTECTION, ROCK DOUGHNUT INLET PROTECTION AND ROCK PIPE INLET PROTECTION WHEN THE DESIGNED STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS AS DESIGNED. DEBRIS WILL BE REMOVED FROM THE ROCK AND HARDWARE CLOTH TO ALLOW PROPER DRAINAGE. SILT SACKS WILL BE EMPTIED ONCE A WEEK AND AFTER EVERY RAIN EVENT. SEDIMENT WILL BE REMOVED FROM AROUND BEAVER DAMS, DANDY SACKS AND SOCKS ONCE A WEEK AND AFTER EVERY RAIN EVENT.
4. DIVERSION DITCHES WILL BE CLEANED OUT IMMEDIATELY TO REMOVE SEDIMENT OR OBSTRUCTIONS FROM THE FLOW AREA. THE DIVERSION RIDGES WILL ALSO BE REPAIRED. SWALES MUST BE TEMPORARILY STABILIZED WITHIN 21 CALENDAR DAYS OF CEASE OF ANY PHASE OF ACTIVITY ASSOCIATED WITH A SWALE.
5. SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF FILLED. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. STAKES MUST BE STEEL. STAKE SPACING WILL BE 6 FEET MAX. WITH THE USE OF EXTRA STRENGTH FABRIC, WITHOUT WIRE BACKING. STAKE SPACING WILL BE 8 FEET MAX. WHEN STANDARD STRENGTH FABRIC AND WIRE BACKING ARE USED. IF ROCK FILTERS ARE DESIGNED AT LOW POINTS IN THE SEDIMENT FENCE, THE ROCK WILL BE REPAIRED OR REPLACED IF IT BECOMES HALF-FULL OF SEDIMENT, NO LONGER DRAINS AS DESIGNED OR IS DAMAGED.
6. SEDIMENT WILL BE REMOVED FROM SEDIMENT TRAPS WHEN THE DESIGN STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. THE ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS OR WHEN THE ROCK IS DISLODGED. BAFFLES WILL BE REPAIRED OR REPLACED IF THEY COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE. THEY WILL BE REPLACED PROMPTLY. SEDIMENT WILL BE REMOVED FROM BAFFLES WHEN DEPOSITS REACH HALF THE HEIGHT OF THE 1ST BAFFLE. FLOATING SKIMMERS WILL BE INSPECTED AND KEPT CLEAN WEEKLY.
7. SEDIMENT WILL BE REMOVED FROM THE SEDIMENT BASIN WHEN THE DESIGN STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS OR IF THE ROCK IS DISLODGED. BAFFLES WILL BE REPAIRED OR REPLACED IF THEY COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE. THEY WILL BE REPLACED PROMPTLY. SEDIMENT WILL BE REMOVED FROM BAFFLES WHEN DEPOSITS REACH HALF THE HEIGHT OF THE 1ST BAFFLE. FLOATING SKIMMERS WILL BE INSPECTED WEEKLY AND WILL BE KEPT CLEAN.
8. LAND QUALITY REQUIRES: ALL SEEDED AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED, ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN, TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER. ALL SLOPES WILL BE STABILIZED WITHIN 21 CALENDAR DAYS. ALL OTHER AREAS WILL BE STABILIZED WITHIN 15 WORKING DAYS. WATER QUALITY REQUIRES: ALL SEEDED AREAS WILL BE FERTILIZED, RESEED AS NECESSARY AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER. ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, ALL SLOPES STEEPER THAN 3:1 HORIZONTAL TO 1" VERTICAL (3:1) AND ALL HIGH QUALITY WATER (HOW) ZONES SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN SEVEN (7) CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY. ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN FOURTEEN (14) CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
9. FLOCCULANTS WILL BE USED TO ADDRESS TURBIDITY ISSUES. THE PUMPS, TANKS, HOSES AND INJECT SYSTEMS WILL BE CHECKED FOR PROBLEMS OR TURBID DISCHARGES DAILY.
10. BASIN OUTLET STRUCTURES AND SKIMMERS SHALL WITHDRAW WATER FROM THE SURFACE.

**TEMPORARY/PERMANENT GRASS SPECIFICATION:**

1. CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS.
  2. RIP THE ENTIRE AREA TO A 6 INCH DEPTH.
  3. REMOVE ALL ROCKS, ROOTS AND OTHER OBSTRUCTIONS LEAVING SURFACES SMOOTH AND UNIFORM.
  4. APPLY AGRICULTURAL LIME AND FERTILIZER UNIFORMLY AND MIX WITH SOIL.  
LIME: 45 LBS. PER 1000 S.F.  
PHOSPHOROUS: 20 LBS PER 1000 S.F.  
FERTILIZER: 17 LBS. PER 1000 S.F.
  5. CONTINUE TILLAGE UNTIL A WELL PULVERIZED, FIRM, UNIFORM SEED BED IS PREPARED 4-6 INCHES DEEP.
  6. SEED ON A FRESHLY PREPARED SEED BED AND COVER SEED LIGHTLY.  
2 - 3 LBS PER 1000 S.F. (SEE MIXTURE BELOW)
  7. MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.  
GRAIN STRAW & HAY AT 75 TO 100 LBS PER 1000 S.F.  
WOOD CHIPS AT 500 LBS. PER 1000 S.F.  
JUTE & MESH AS PER MANUFACTURER
  8. ASPHALT FOR ANCHORING MULCH SHALL BE TYPE SS-1 EMULSION AND APPLIED AT A RATE OF 1000 GAL. PER ACRE FOR SLOPE STABILIZATION, AND 150 GAL. PER TON OF STRAW FOR ANCHORING STRAW.
  9. INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RESEED WITHIN THE PLANTING SEASON, IF POSSIBLE. IF GRASS STAND SHOULD BE OVER 80% DAMAGED, REESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
  10. CONSULT CONSERVATION INSPECTOR ON MAINTENANCE, TREATMENT, AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.
  11. SEED FOR TEMPORARY AND PERMANENT APPLICATIONS SHALL BE:  
20% CARPET GRASS  
28% BERMUDA GRASS  
20% TURF FESCUE  
10% CREEPING RED FESCUE  
20% ANNUAL RYE GRAIN  
\*BERMUDA SEED SHALL BE HULLED FOR WARM WEATHER PLANTING. PURITY OF SEED SHALL BE A MIN. OF 98% AND GERMINATION SHALL BE A MIN. OF 85%.
- ALL DISTURBED AREA SHALL BE SEEDED WITHIN 7-14 DAYS OF THE COMPLETION OF GRADINGS. SEE EROSION CONTROL AND MAINTENANCE NOTES. CONSULT CONSERVATION ENGINEER OR SOIL CONSERVATION SERVICE FOR ADDITIONAL INFORMATION CONCERNING OTHER ALTERNATIVES FOR VEGETATION OF DENUDATED AREAS. THE ABOVE VEGETATION RATES ARE THOSE WHICH DO WELL UNDER LOCAL CONDITIONS, OTHER SEEDING SCHEDULES MAY BE POSSIBLE.

**SITE WORK NOTES:**

1. THE CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH FIELD CONSTRUCTION CONDITIONS.
2. CONTRACTOR SHALL COORDINATE WORK WITH NCDOT AND LOCAL RIGHT OF WAYS WITH PROPER AUTHORITIES AND SHALL MEET ANY REQUIREMENTS AS TO TRAFFIC CONTROL AND CONNECTION TO EXISTING STREETS.
3. CLEARING AND GRUBBING: REMOVE ALL TREES AS REQUIRED UNLESS OTHERWISE NOTED TO REMAIN, STUMPS, ROOTS, SHRUBBERY, ASPHALT, CONCRETE, STRUCTURES, BURIED UTILITIES, STORAGE TANKS, ETC. WITHIN LIMITS OF CONSTRUCTION.
4. STRIPPING: BEFORE EXCAVATING OR FILLING, REMOVE ALL TOPSOIL, WOOD, LEAVES, AND ANY OTHER UNSUITABLE MATERIAL.
5. MUCKING: REMOVE ANY SOFT, ORGANIC SILT MATERIALS AND EXISTING BURIED CONSTRUCTION DEBRIS AS REQUIRED AND FILL TO SUBGRADE ELEVATIONS WITH A CLEAN SELECT-FILL COMPACTED AS SPECIFIED.
6. DISPOSAL: CLEARED, GRUBBED, STRIPPED OR EXCAVATED SPOIL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE CODES.
7. BORROW MATERIAL: THE CONTRACTOR SHALL FURNISH BORROW MATERIAL REQUIRED FROM OFF SITE AND OBTAIN ALL REQUIRED PERMITS ASSOCIATED WITH BORROW OPERATIONS.
8. FILL AND COMPACTION: AFTER STRIPPING THOSE AREAS DESIGNATED TO RECEIVE FILL SHOULD BE PROFFEROLLED, THE TOP 8" OF SUBGRADE SHALL BE COMPACTED TO AT LEAST 98% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT. ANY AREA WHICH PUMPS OR RUTS EXCESSIVELY SHOULD BE UNDERCUT AND REPLACED WITH A CLEAN, SILTY OR CLAYEY SAND HAVING A UNIFIED SOIL CLASSIFICATION OF SP, SM, OR SC. FILL MATERIAL 5" OUTSIDE OF BUILDING AREAS SHALL THEN BE PLACED IN LAYERS NOT TO EXCEED 8" AND COMPACTED TO AT LEAST 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698) WITH THE UPPER 12 INCHES OF SUBGRADE BEING COMPACTED TO 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY. FILL MATERIALS WITHIN BUILDING AREAS TO A LINE OUTSIDE THE BUILDING AREAS SHALL BE PLACED IN LAYERS NOT TO EXCEED 8" AND COMPACTED TO AT LEAST 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698) WITH THE UPPER 12 INCHES OF SUBGRADE BEING COMPACTED IN 6 INCH LAYERS TO 100% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY. IN AREAS WHERE NO STRUCTURAL FILL IS TO BE PLACED THE UPPER 12 INCHES OF IN-PLACE SUBGRADE SHOULD BE COMPACTED TO AT LEAST 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY. IF THE MATERIAL IS TOO DRY TO COMPACT TO THE REQUIRED DENSITY EACH LAYER SHALL BE WETTED IN ACCORDANCE WITH COMPACTION REQUIREMENTS. IF THE MATERIAL IS TOO WET TO SECURE PROPER COMPACTION, IT SHALL BE HARROWED REPEATEDLY OR OTHERWISE AERATED WITH SUITABLE EQUIPMENT UNTIL OPTIMUM MOISTURE CONTENT IS OBTAINED. FILL SHALL BE PLACED IN SUCH A MANNER THAT THE SURFACE WILL DRAIN READILY AT ALL TIMES. SEE STRUCTURAL NOTES AND SOILS REPORT FOR ADDITIONAL REQUIREMENTS.
9. LAYOUT: THE CONTRACTOR SHALL PROVIDE ALL LAYOUT REQUIRED TO CONSTRUCT HIS WORK.
10. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION.
11. EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION FROM SURVEY BY BATEMAN CIVIL SURVEY COMPANY AND PROVIDED BY OWNER.
12. THE CONTRACTOR SHALL VERIFY DIMENSIONS AT JOBSITE.
13. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF RELOCATION OR DISCONNECTION OF ALL EXISTING UTILITIES WITH APPLICABLE AGENCIES AND AUTHORITIES.
14. ALL PAVEMENT AND BASE MATERIALS AND WORKMANSHIP SHALL CONFORM TO NCDOT STANDARDS.
15. WATER AND SEWER SERVICES SHALL BE INSTALLED TO MEET LOCAL AND STATE PLUMBING CODES. METER AND TAPS SHALL MEET ALL LOCAL REQUIREMENTS.
16. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE.
17. SEE SOILS REPORT FOR ADDITIONAL REQUIREMENTS.
18. CONTRACTOR SHALL NOTE THAT EARTHWORK QUANTITIES ARE HIS RESPONSIBILITY. PLANS DO NOT REPRESENT A BALANCED EARTHWORK CONDITION.
19. REINF. CONC. PIPE SHALL BE CLASS III W/RUBBER GASKETED JOINT OR "RAM NECK". INSTALL PER MANUFACTURER'S REQUIREMENTS.

**CLINE DESIGN**

125 N. Harrington St.  
Raleigh, NC 27603  
919/833-6413  
919/836-1280 FAX  
ClineDesignAssoc.com  
Attn: Chris Tingler

**NORRIS & TUNSTALL CONSULTING ENGINEERS, P.C.**

392 MARKET STREET  
WILMINGTON, NC 28401  
PHONE (910) 343-9653  
FAX (910) 343-9604  
LICENCE #C-3841

**DPJ Residential**

**Westfall Park Apartments Mixed Use**

1817 Sir Tyler Drive  
Wilmington, North Carolina

**Preliminary TRC Review**

NOT FOR CONSTRUCTION

**SEAL**

NOT FOR CONSTRUCTION

**WATERMINGTON**

Public Services • Engineering Division  
STORMWATER MANAGEMENT PLAN

PROJECT: 215007  
DATE: 04.8.2015

REVISIONS: DATE

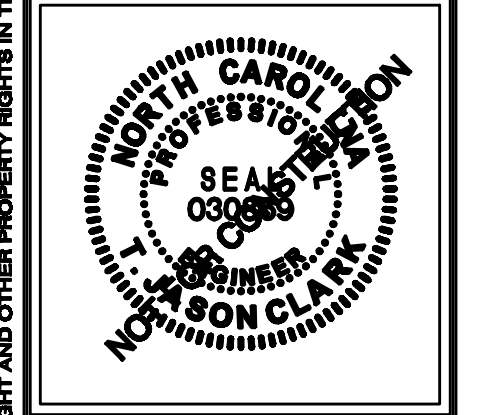
PER COW COMMENTS 6.18.15

DRAWN BY:  
CHECKED BY:

**CG5.0**  
NT #18040

GRADING, STORM DRAINAGE, AND EROSION CONTROL NOTES AND DETAILS





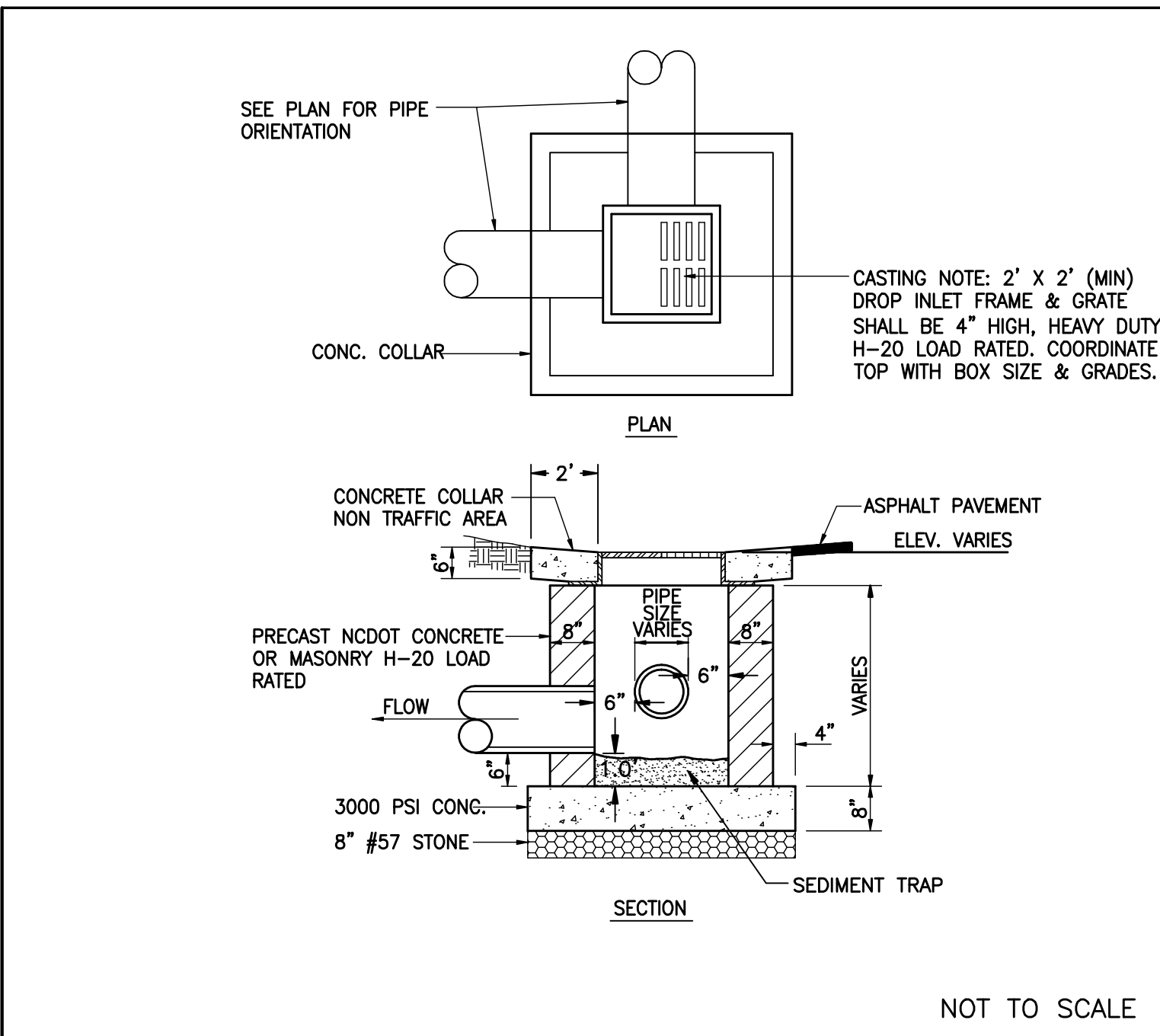
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

PROJECT: 215007	
DATE: 04.8.2015	
REVISIONS:	DATE
PER COW COMMENTS	6.19.16

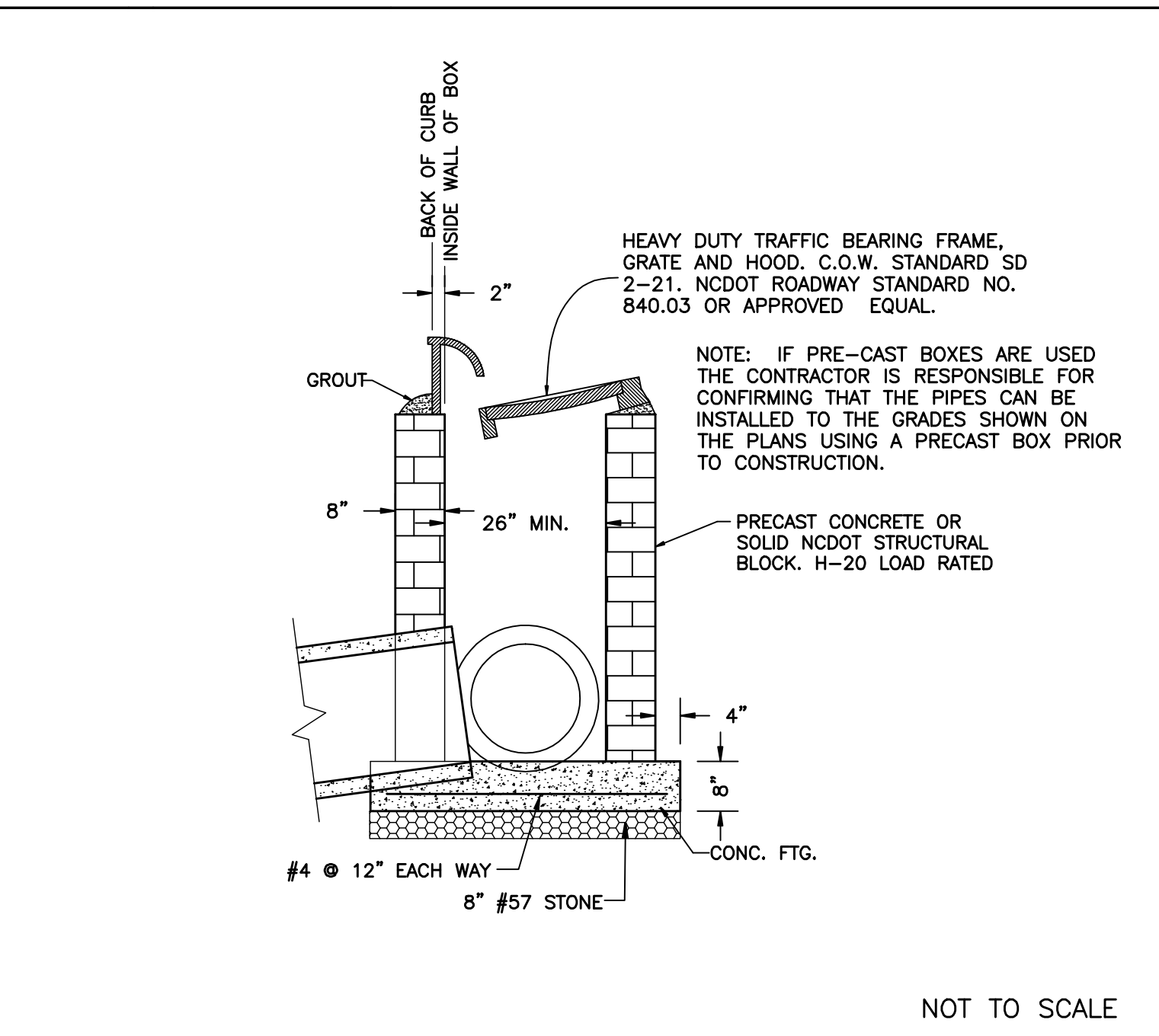
Planning	Name	Date
Traffic		
File		

MODERN PWBS WATER PERMIT #	_____	GPD
WATER CAPACITY:	_____	GPD
DWG SEWER PERMIT #	_____	GPD
SEWER CAPACITY:	_____	GPD
SEWER SIZED # AND PLAN:	_____	
SEWER TO FLOW THROUGH NEL:	YES OR NO (CIRCLE ONE)	

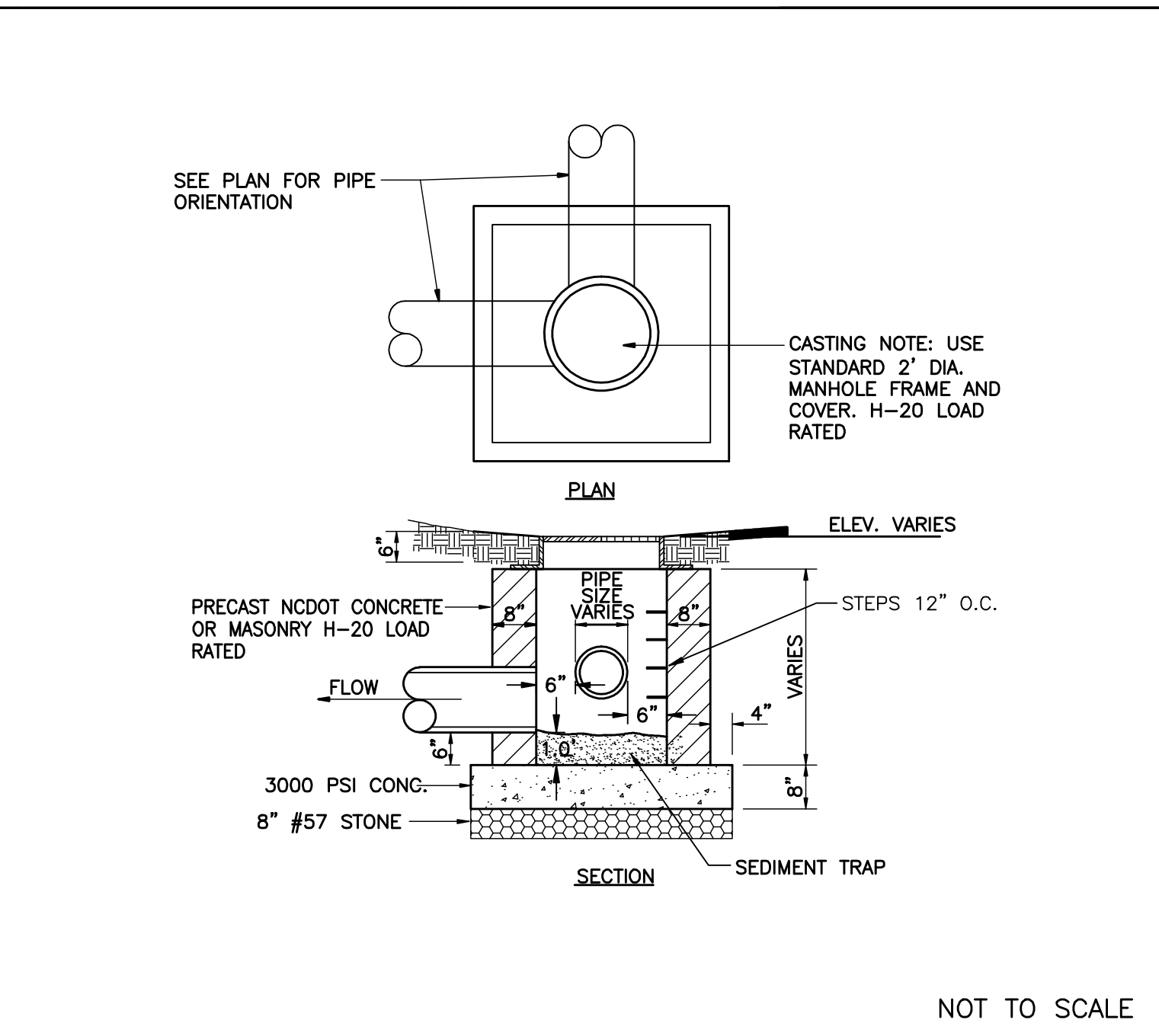
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**CG5.1**  
 NT #16040



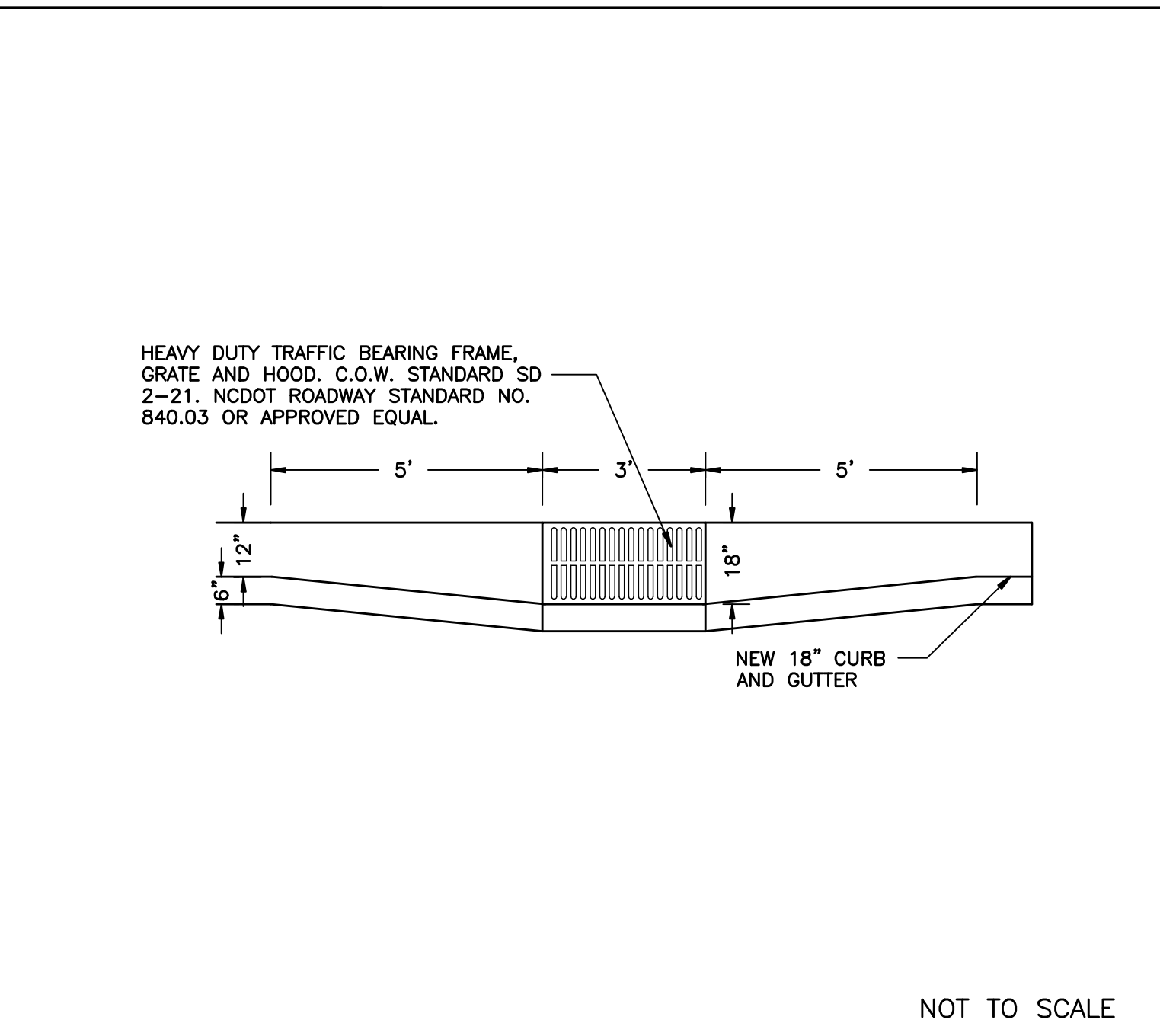
1 DROP INLET DETAIL



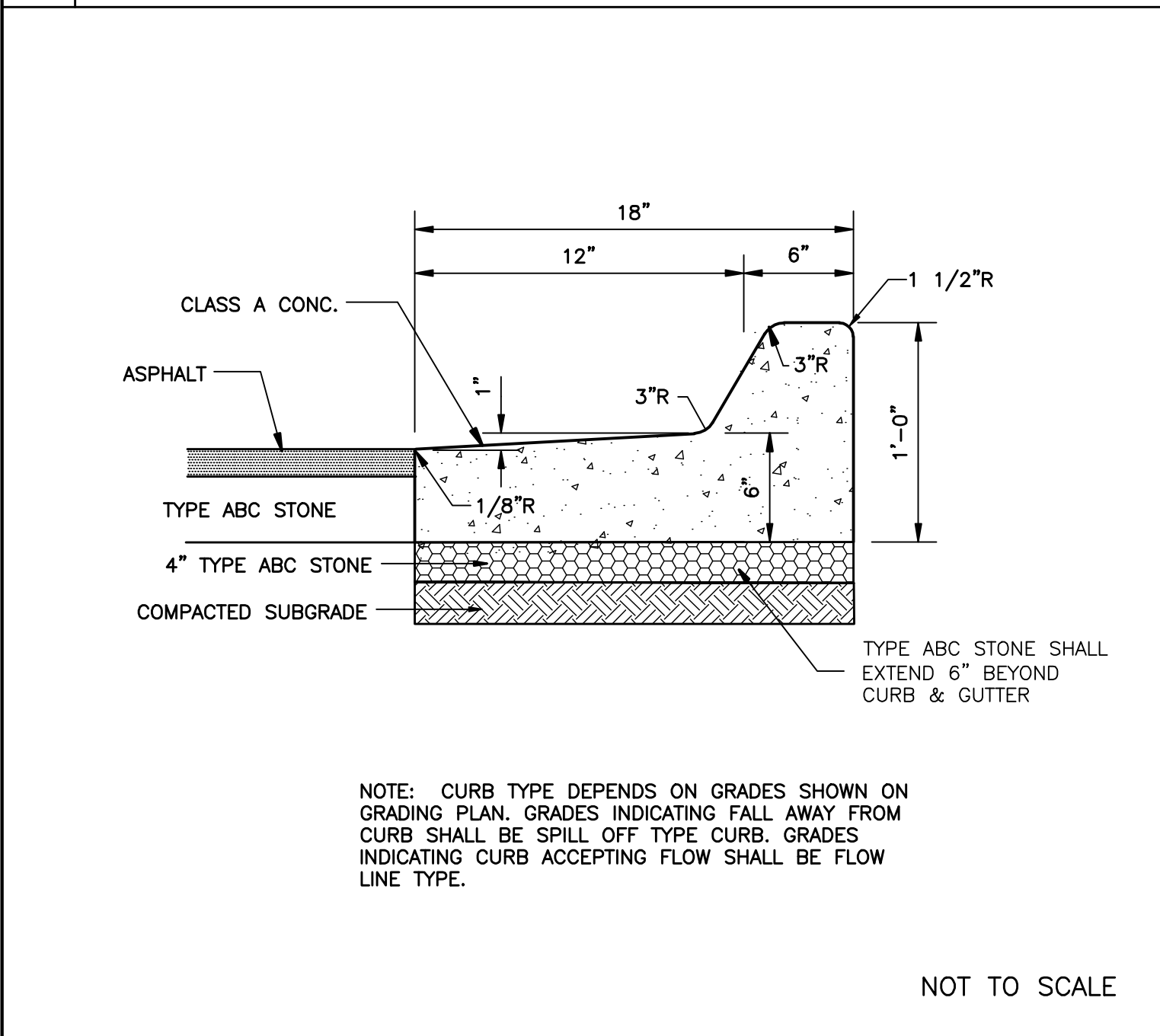
2 CATCH BASIN DETAIL



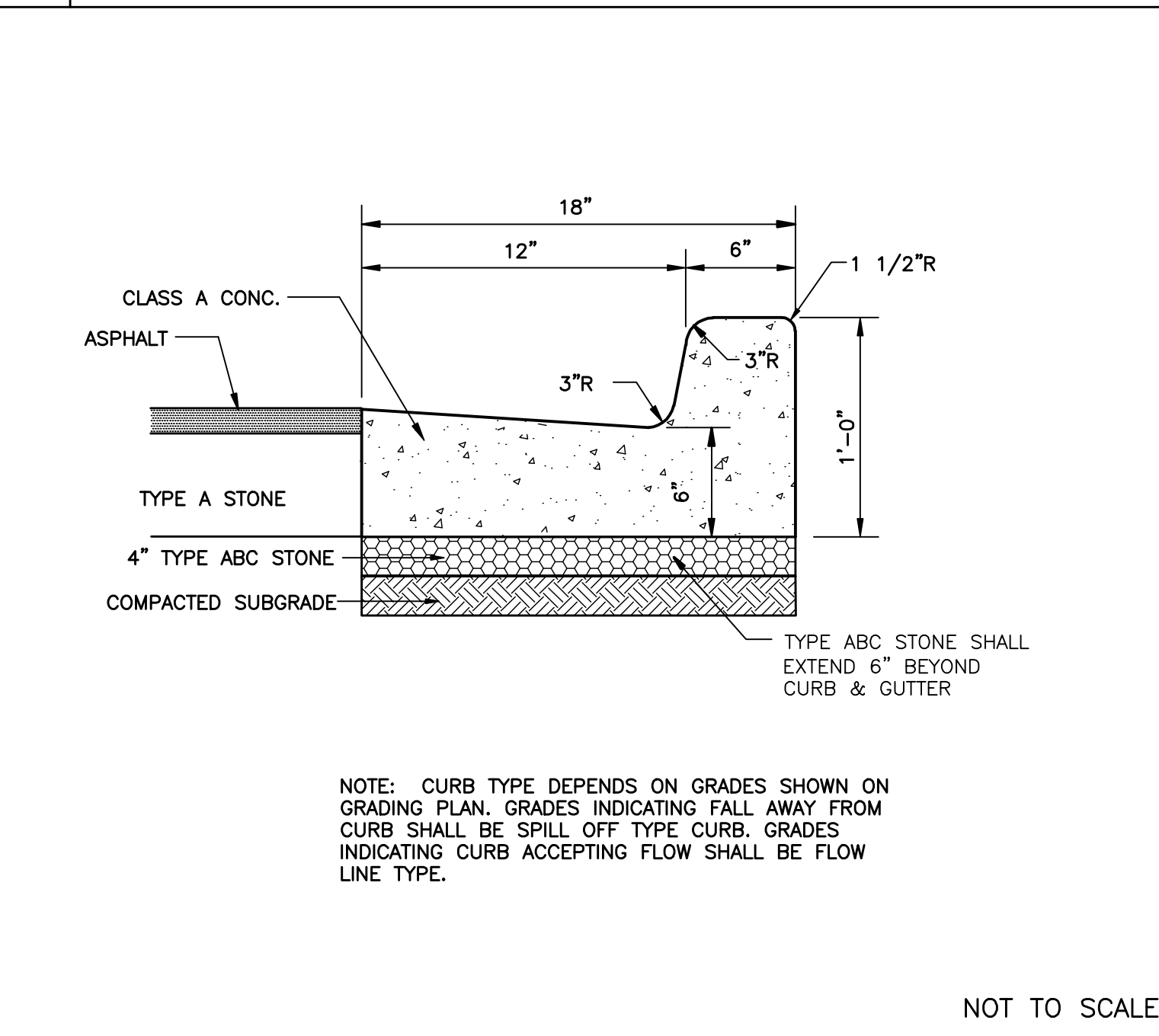
3 JUNCTION BOX DETAIL



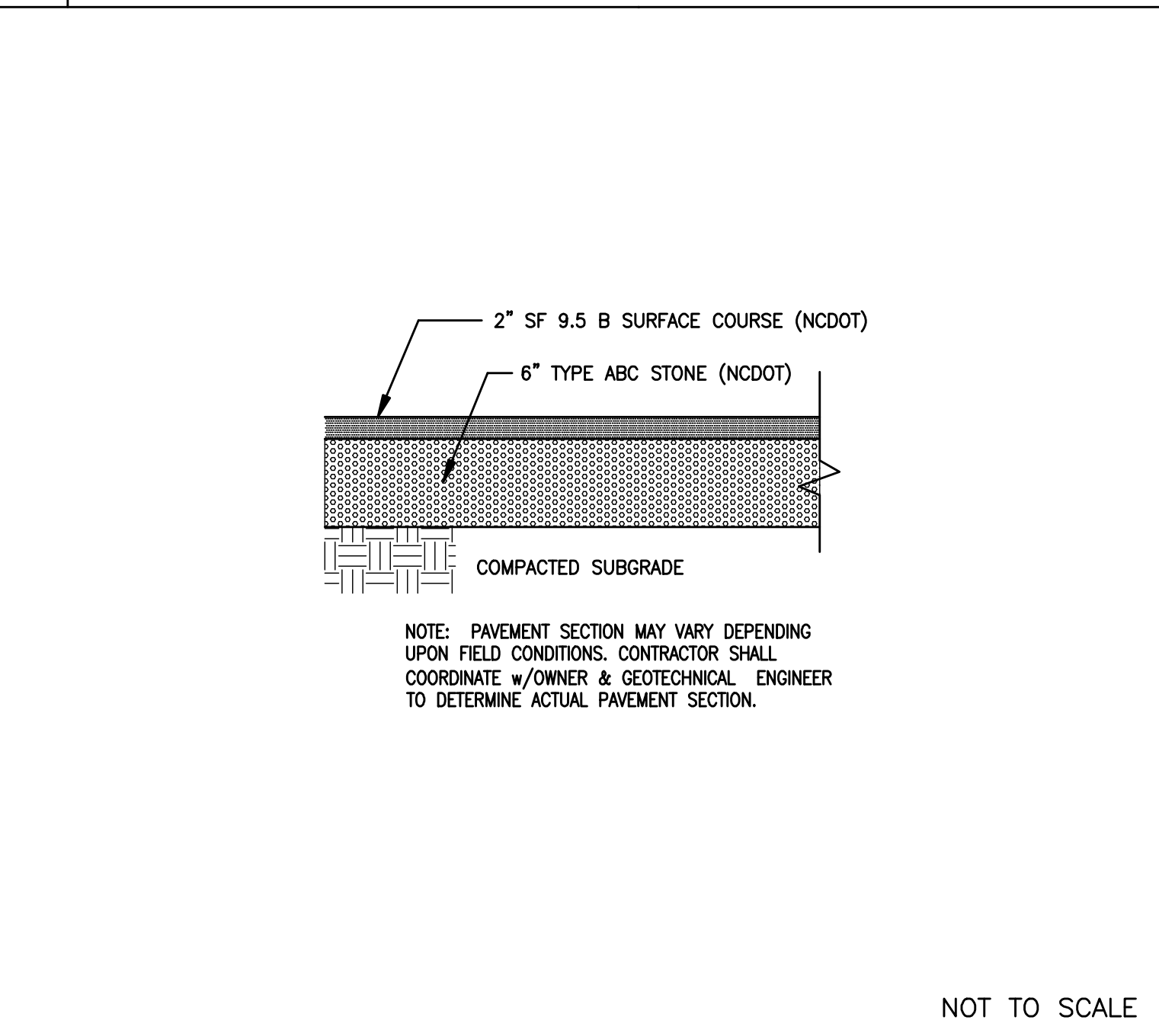
4 18" CURB AND GUTTER INLET OFFSET DETAIL



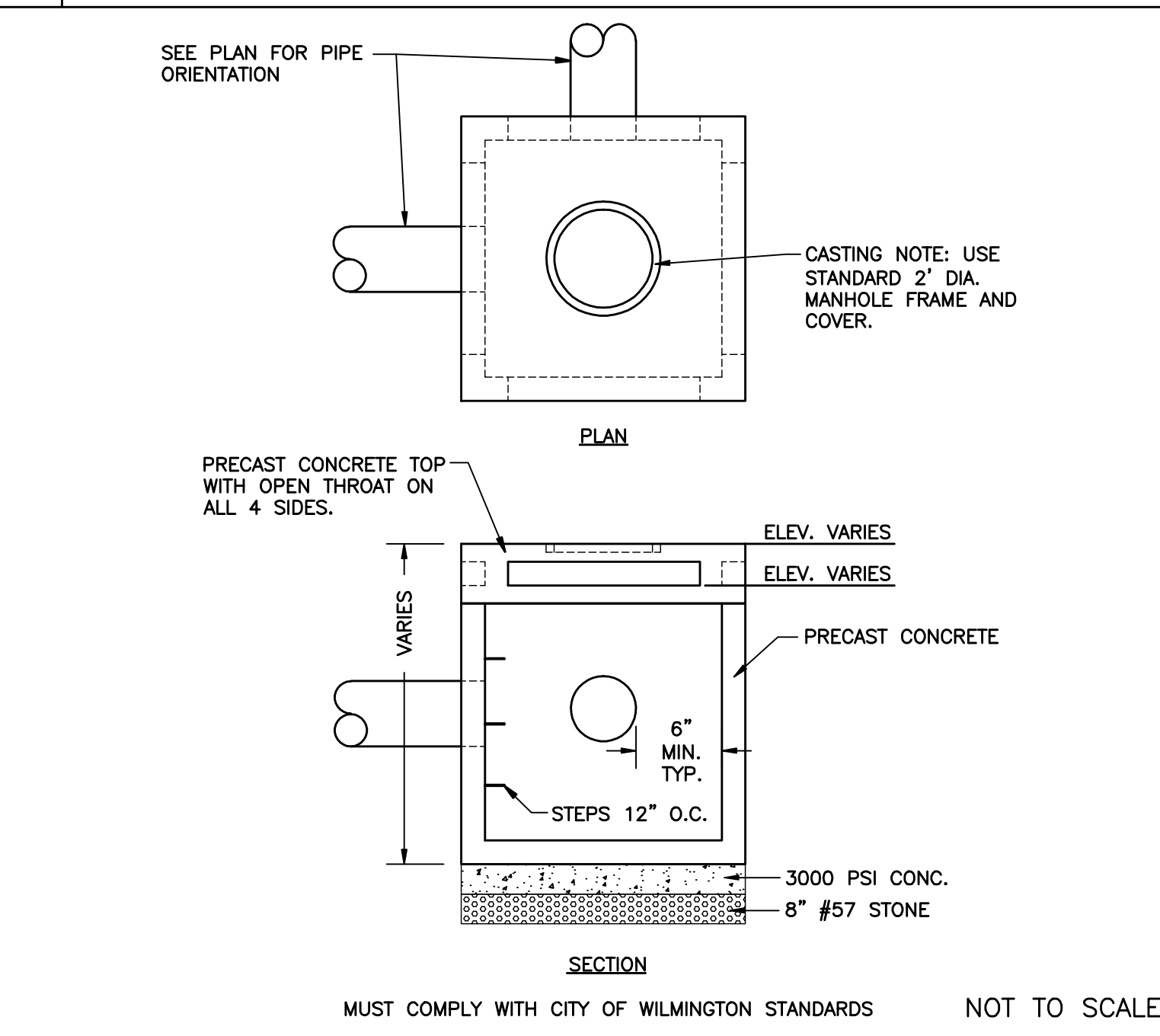
5 18" CURB AND GUTTER SECTION (SPILL-OFF)



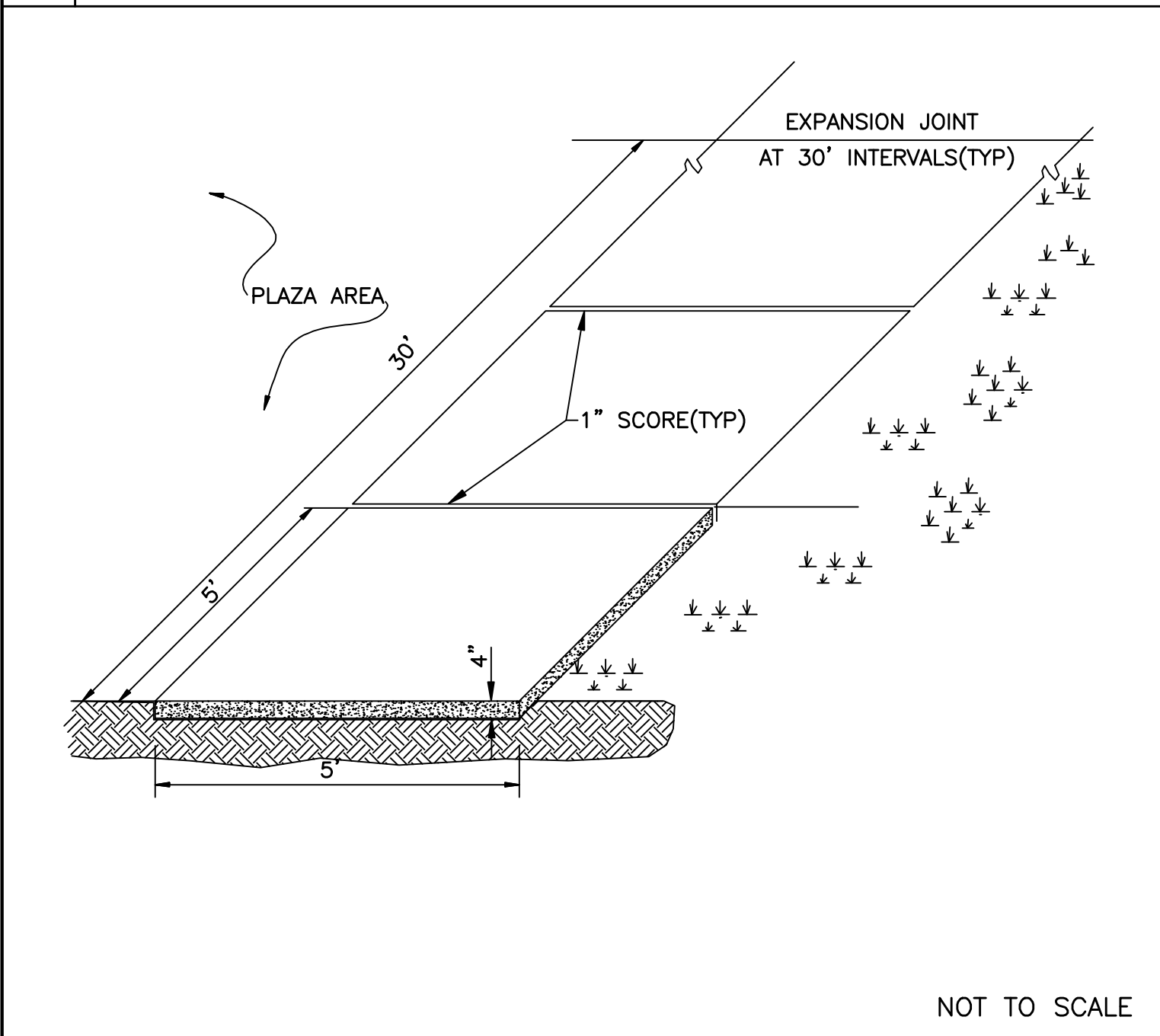
6 18" CURB AND GUTTER SECTION (FLOW-LINE)



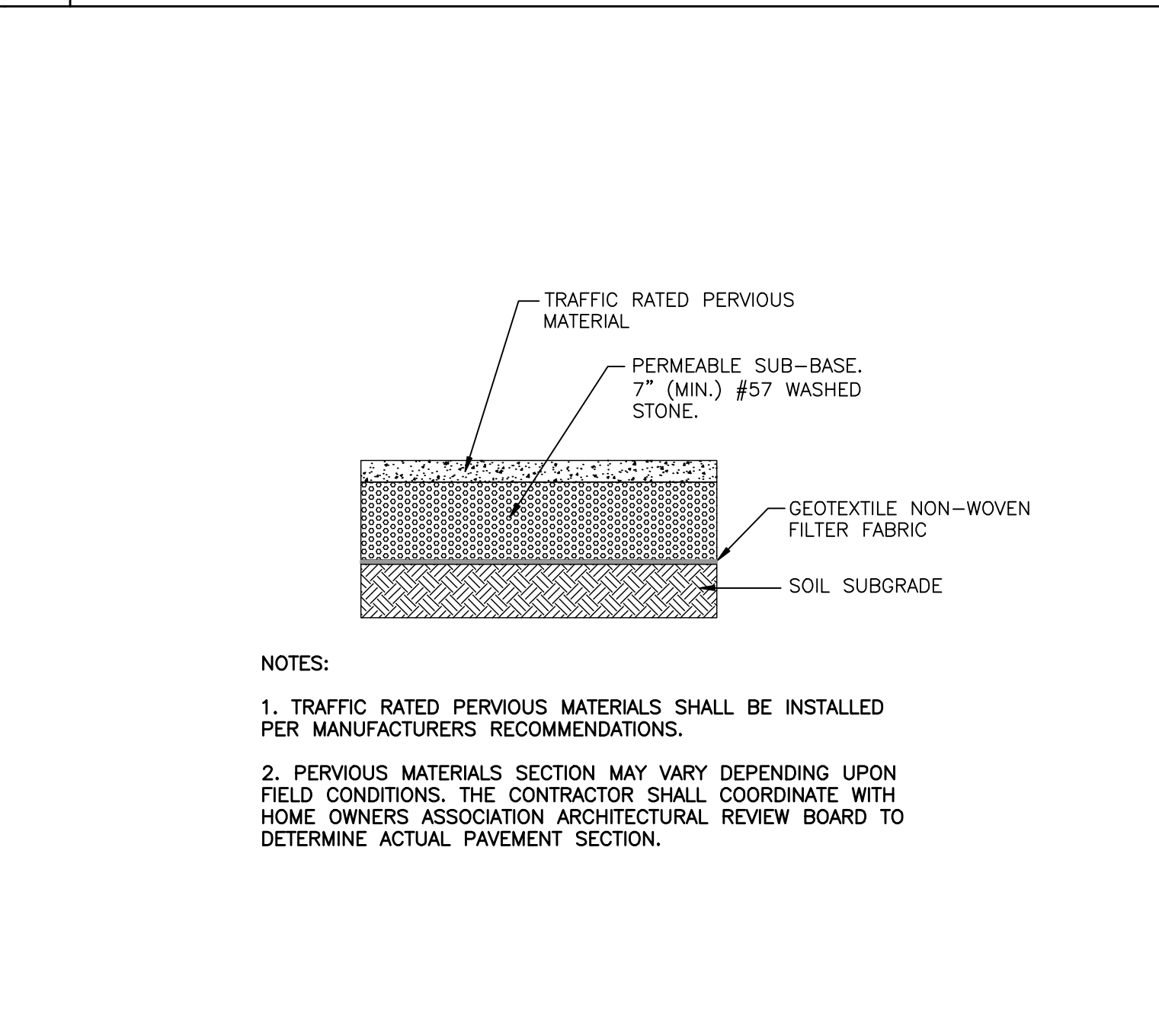
7 ASPHALT PAVEMENT SECTION



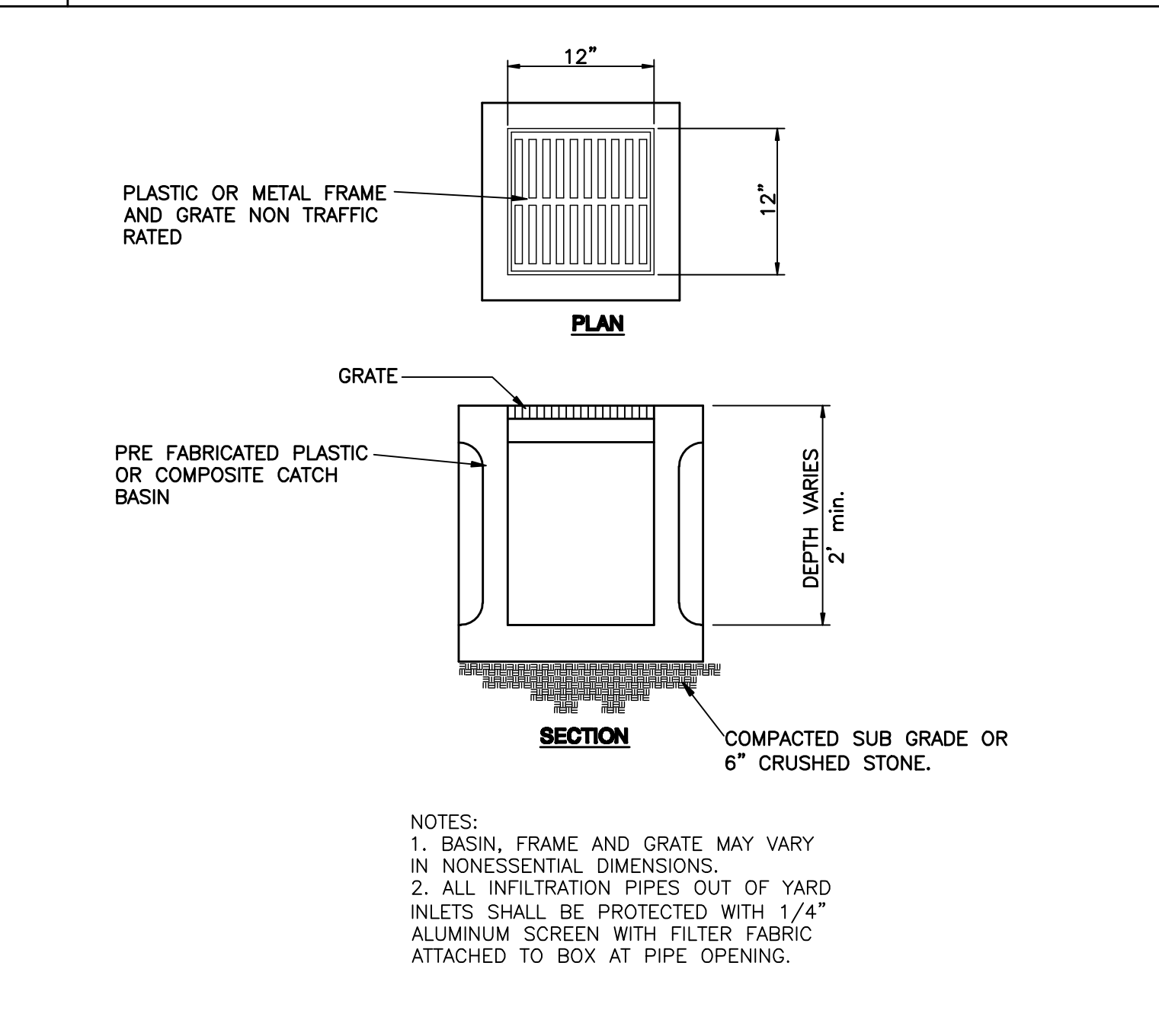
8 DROP INLET DETAIL WITH OPEN THROAT TOP



9 STANDARD SIDEWALK DETAIL



10 PERVIOUS PAVEMENT SECTION



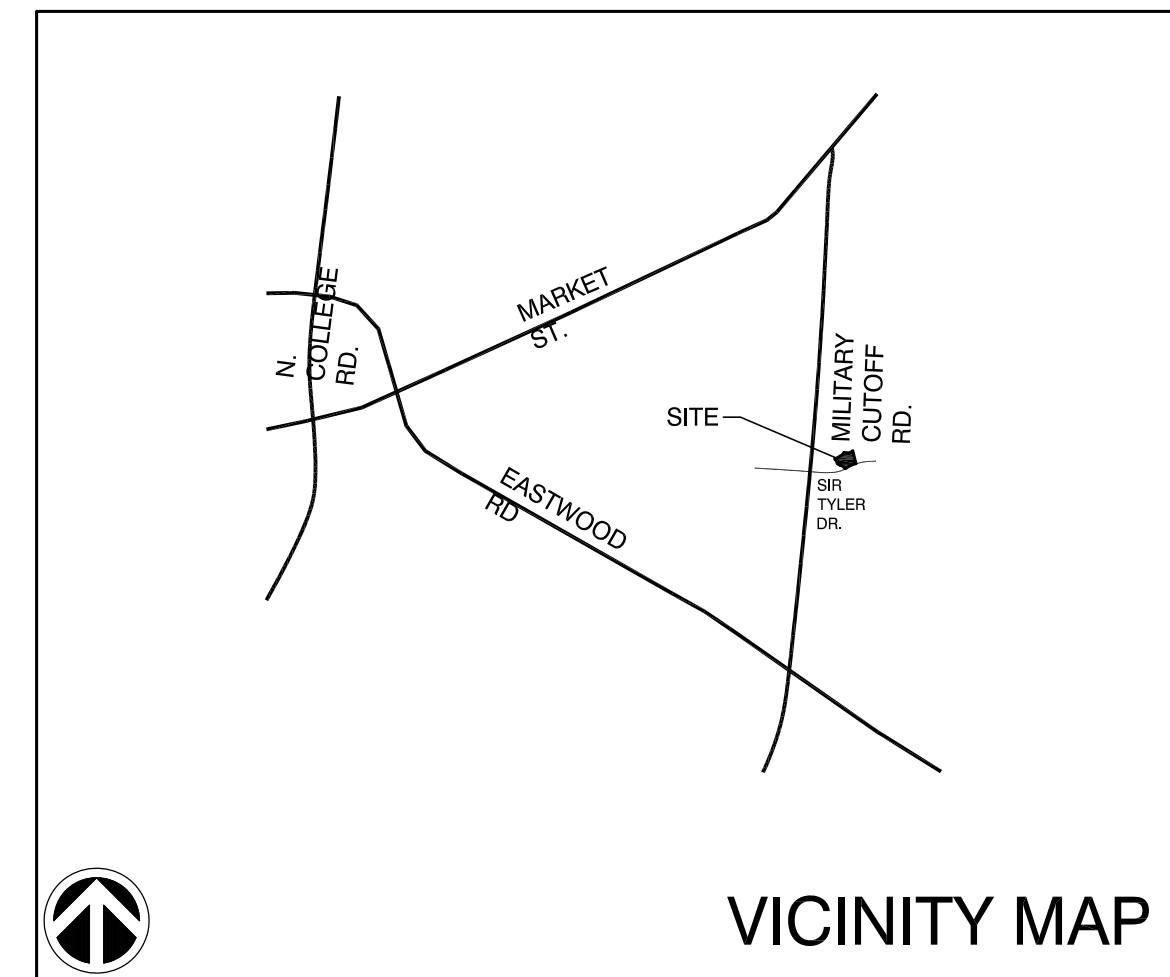
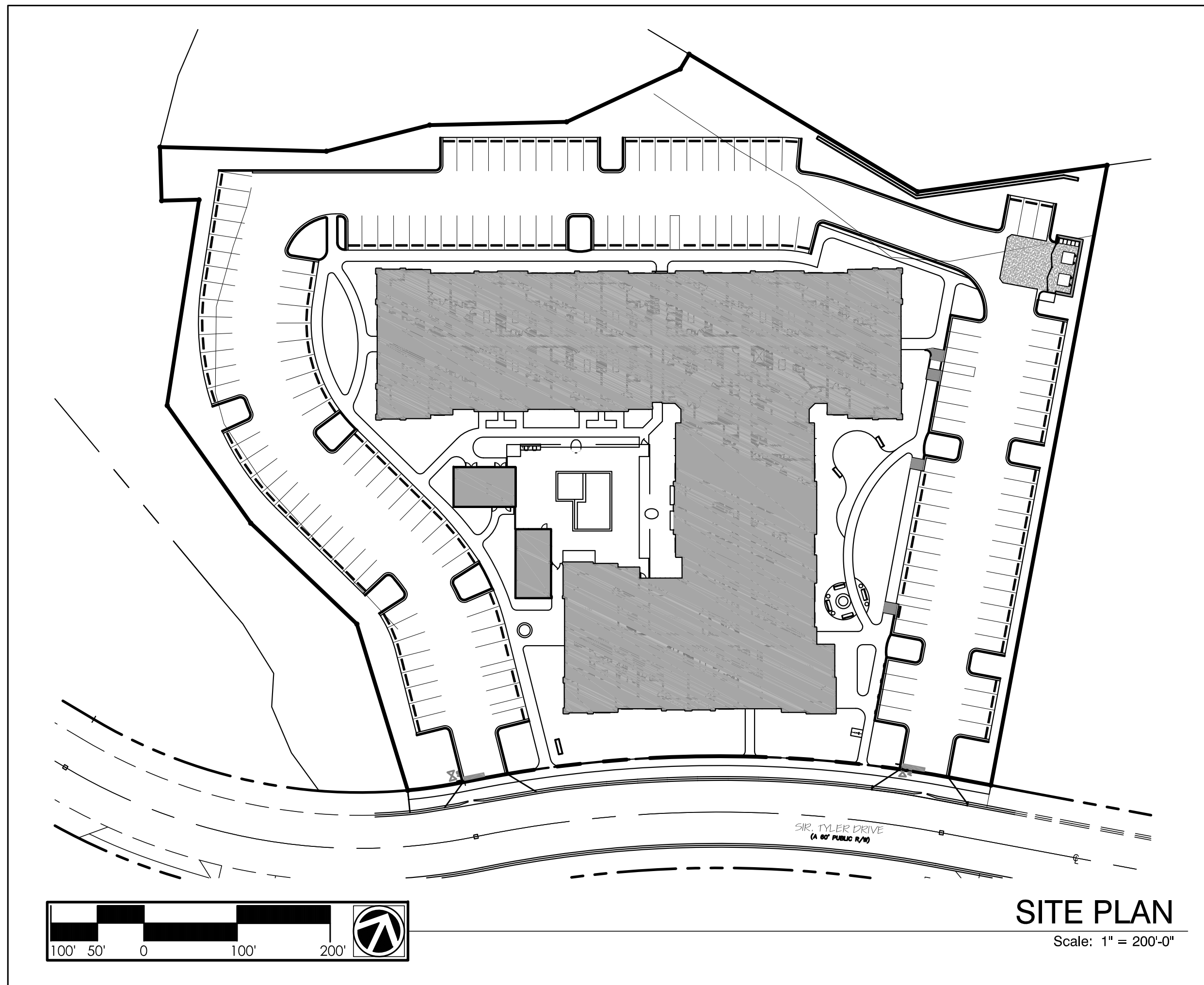
11 YARD INLET

# WESTFALL PARK APARTMENTS MIXED USE

125 N. Harrington St.  
Raleigh, NC 27603  
919/833-6413  
919/836-1280 FAX  
ClineDesignAssoc.com



## WILMINGTON, NORTH CAROLINA



Per C.O.W. Comments 06.19.15

**REVISIONS**

Cover	
Survey	ALTA 1
Survey w/Trees	ALTA 2
Existing Conditions & Site Inventory Plan	SD0.10
Tree Inventory, Preservation and Removal Plan	SD0.11
Preliminary Site Plan	SD1.00
Site Details	SD2.00
Site Details	SD2.10
Grading, Drainage and Erosion Control Plan	CG3.0
Drainage Area Plan	CG3.1
Utility Plan	CU4.0
Utility Profile	CU4.1
Grading, Drainage and Erosion Control Notes and Details	CG5.0
Grading, Drainage and Erosion Control Notes and Details	CG5.1
Sewer Details	SSD-1
Sewer Details	SSD-2
Sewer Details	SSD-3
Water Details	WSD-1
Water Details	WSD-2
Preliminary Landscape Plan	LP1.00
Landscape Plant Schedule	LP2.00
Landscape Details & Notes	LP2.10
Building - First Level Plan	A1.01
Building - Second Level Plan	A1.02
Building - Third Level Plan	A1.03
Building - Fourth Level Plan	A1.04
Exterior Elevations	A2.00
Exterior Elevations	A2.01
Pool House Plan & Elevations	A8.10

**SHEET INDEX**

**DEVELOPER:** DPJ Residential, LLC  
1320 Fillmore Ave. Ste: 100  
Charlotte, North Carolina  
Contact: D. Porter Jones 980.226.5381

**ARCHITECT:** CLINE DESIGN ASSOCIATES, PA  
1815 S. Tryon St. Ste: A  
Charlotte, North Carolina  
Contact: John Rider 704.333.7272

**LANDSCAPE:** CLINE DESIGN ASSOCIATES, PA  
125 N. Harrington St.  
Raleigh, North Carolina  
Contact: Chris Tingler 919.833.6413

**CIVIL:** NORRIS & TUNSTALL  
CONSULTING ENGINEERS, P.C.  
902 Market Street  
Wilmington, North Carolina  
Contact: John Tunstall 910.343.9653

STORMWATER MANAGEMENT PLAN  
APPROVED  
CITY OF WILMINGTON  
ENGINEERING DEPARTMENT  
DATE \_\_\_\_\_ PERMIT # \_\_\_\_\_  
SIGNED \_\_\_\_\_

For each open utility cut of  
City streets, a \$325 permit  
shall be required from the  
City prior to occupancy  
and/or project acceptance.

**Approved Construction Plan**

Name	Date
Planning _____	
Public Utilities _____	
Traffic _____	
Fire _____	

City of Wilmington TRC Submittal  
NOT FOR CONSTRUCTION  
May 13, 2015











**PLANT SCHEDULE STREETYARD**

TREES	QTY	BOTANICAL NAME	COMMON NAME	CAL.	HT.	SPR.	REMARKS	XERIC LANDSCAPE TREES
JUN VIR	1	Juniperus virginiana	Eastern Red Cedar	-	4-5'	3-4'	Full to Ground, Matched	1
QUE VIR	8	Quercus virginiana	Southern Live Oak	2-2.5"	12-14'	8'-10'	Full Head. Matched	8
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	HT.	SPR.	REMARKS	SHRUBS	
CAL BEA	1	Callicarpa americana	American Beauty Berry	24"	24"	Full, 42" o.c.		
ILE CAR	21	Ilex cornuta Carissa	Carissa Holly	18-24"	18"-24"		21	
ILE SKY	7	Ilex crenata 'Sky Pencil'	Sky Pencil Japanese Holly	30"-36"	8-12"	Full, Matched		
ILE BOU	24	Ilex vomitoria 'Bourdeaux'	Bourdeaux Dwarf Yaupon	12-18"	10-12"	Full, Matched	24	
ITE VIR	11	Itea virginica 'Henry's Garnet'	Henry's Garnet Sweetpire	18-24"	15-18"	Full		
JUN BL4	4	Juniperus chinensis 'Blue Point'	Blue Point Juniper	36-42"	24-30"	Full to Ground, Matched	4	
JUN SP2	3	Juniperus chinensis 'Spartan'	Spartan Juniper	12-18"	8-10"	Full to Ground, Matched	3	
LOR DIA	39	Loropetalum chinense rubrum 'Purple Diamond'	Purple Diamond Loropetalum	12-18"	10-16"	Full, Matched		
MUH CA3	41	Muhlenbergia capillaris	Pink Muhly	10-16"	10"-12"	Full, Matched	41	
MYR CER	3	Myrica cerifera	Wax Myrtle	12-18"	8-12"	FULL	3	
NER PIN	23	Nerium oleander 'Pink'	Pink Oleander	12-18"	8-12"	Full	23	
PEN CAS	16	Pennisetum alopecuroides 'Cassian'	Cassian Dwarf Fountain Grass	10"-12"	6"-8"	FULL		
PIT TOB	21	Pittosporum tobira 'Mojo'-PP#16188	Mojo Dwarf Variegated Pittosporum	18"-24"	18"-24"	FULL	21	
ROS MEI	56	Rosa x 'Meigalpio' PP# 17,877	Red Drift Rose	8-10"	12-15"			
YUC FIL	22	Yucca filamentosa	Adam's Needle	18"-24"	18"-24"	Full, Matched,*soft leaf	22	
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT.	SPR.	SPACING	REMARKS
ANN	59 sf	Annuals	Annuals	ANN				Seasonal Color

**PLANT SCHEDULE ALL**

TREES	QTY	BOTANICAL NAME	COMMON NAME	CAL.	HT.	SPR.	REMARKS	XERIC LANDSCAPE TREES
AME AU	6	Amelanchier x 'Autumn Brilliance'	Autumn Brilliance Serviceberry	1.5"	6'-8'	3-4'	Full, Matched	
BET HE2	9	Betula nigra 'Heritage'	Heritage River Birch	2-2.5'	8'-10'	6-8'	Full Head. Matched, 3 Trunk min.	
CER CA	4	Cercis canadensis	Eastern Redbud	1.5"	5'-6'	2'-3'	Full head	
COR FL	6	Cornus florida	Eastern Dogwood	1.5"	6-8'	4'-5'	Full Head. Matched, 3 Trunk Min.	
ILE FO2	9	Ilex x attenuata 'Foster No. 2'	Foster No. 2 Holly	2"	8'-10'	4'-6'	FULL, MATCHED	
JUN VIR	5	Juniperus virginiana	Eastern Red Cedar	-	4-5'	3-4'	Full to Ground, Matched	5
PIN TA2	3	Pinus taeda	Loblolly Pine	2-2.5'	12'-14'	6'-8'	Full	
PRU CA	8	Prunus caroliniana	Carolina Laurel Cherry	-	30"-36"	18"-24"	Full	8
QUE VI*	10	Quercus virginiana	Southern Live Oak	2-2.5"	12-14'	8'-10'	Full Head	10
QUE VIR	14	Quercus virginiana	Southern Live Oak	2-2.5"	12-14'	8'-10'	Full Head. Matched	14
TAX DI*	2	Taxodium distichum	Bald Cypress	2-2.5"	10-12'	4-6'	Full to Ground	
TAX DIS	3	Taxodium distichum	Bald Cypress	2-2.5"	10'-12'	4'-6'	Full to Ground	
ULM ALL	13	Ulmus parvifolia 'UPMTF'	Bosque® Lacebark Elm	2-2.5"	12'-14'	6'-8'	Full Head. Matched	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	HT.	SPR.	REMARKS	SHRUBS	
ARO ARB	31	Aronia arbutifolia 'Brilliantissima'	Brilliant Red Chokeberry/Red Chokeberry	24-36"	18-24"	Full, Matched		
CAL BEA	16	Callicarpa americana	American Beauty Berry	24"	24"	Full, 42" o.c.	77	
ILE CAR	77	Ilex cornuta Carissa	Carissa Holly	18-24"	18"-24"			
ILE SKY	7	Ilex crenata 'Sky Pencil'	Sky Pencil Japanese Holly	30"-36"	8-12"	Full, Matched	23	
ILE GLA	23	Ilex glabra	Inkberry Holly	30"-36"	24-30"	Full to Ground, Matched	54	
ILE BOU	54	Ilex vomitoria 'Bourdeaux'	Bourdeaux Dwarf Yaupon	12-18"	10-12"	Full, Matched		
ITE VIR	82	Itea virginica 'Henry's Garnet'	Henry's Garnet Sweetpire	18-24"	15-18"	Full	4	
JUN BL4	4	Juniperus chinensis 'Blue Point'	Blue Point Juniper	36-42"	24-30"	Full to Ground, Matched	13	
JUN NIC	13	Juniperus chinensis 'Nick's Compact'	'Nick's Compact' Juniper	12-15"	12-15"	Full		
JUN SP2	43	Juniperus chinensis 'Spartan'	Spartan Juniper	12-18"	8-10"	Full to Ground, Matched		
LOR BUR	12	Loropetalum chinense rubrum 'Burgundy'	Burgundy Loropetalum	36"-42"	30"-36"	Full		
LOR DIA	39	Loropetalum chinense rubrum 'Purple Diamond'	Purple Diamond Loropetalum	12-18"	10-16"	Full, Matched	296	
MUH CA3	296	Muhlenbergia capillaris	Pink Muhly	10-16"	10"-12"	Full, Matched	7	
MYR CER	7	Myrica cerifera	Wax Myrtle	12-18"	8-12"	FULL	47	
NER PIN	47	Nerium oleander 'Pink'	Pink Oleander	12-18"	8-12"	Full		
PAN NOR	20	Panicum virgatum 'Northwind'	Northwind Switch Grass	18"-24"	12"-18"	Full		
PAN SHE	129	Panicum virgatum 'Shenendoah'	Burgundy Switch Grass	18"-24"	12"-18"	Full		
PEN CAS	120	Pennisetum alopecuroides 'Cassian'	Cassian Dwarf Fountain Grass	10"-12"	6"-8"	FULL	21	
PIT TOB	21	Pittosporum tobira 'Mojo'-PP#16188	Mojo Dwarf Variegated Pittosporum	18"-24"	18"-24"	FULL		
ROS MEI	56	Rosa x 'Meigalpio' PP# 17,877	Red Drift Rose	8-10"	12-15"			
VIB CHI	17	Viburnum awabuki 'Chindo'	Chindo Viburnum	18-24"	12-18"	Full, Matched	22	
YUC FIL	22	Yucca filamentosa	Adam's Needle	18"-24"	18"-24"	Full, Matched,*soft leaf		
SHRUB AREAS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT.	SPR.	SPACING	REMARKS
JUN AN3	38	Juniperus horizontalis 'Andorra'	Andorra Juniper	3 gal	8-10"	12-18"	48" o.c.	Full
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT.	SPR.	SPACING	REMARKS
ANN	59 sf	Annuals	Annuals	ANN				Seasonal Color

**MULCH** DOUBLE SHREADED HARDWOOD

**TURF GRASS**  
SOD Zoysia Zoysia hybrids

\*ALL DISTURBED AREAS NOT LABELED AS SOD ARE TO BE SEEDED.



125 N. Harrington St.  
Raleigh, NC 27603  
919/833-6413  
919/836-1280 FAX  
ClineDesignAssoc.com  
Attn: Chris Tingler

DPJ Residential  
Westfall Park Apartments Mixed Use  
1817 Sir Tyler Drive  
Wilmington, North Carolina

Preliminary  
TRC Review

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

PROJECT: 215007  
DATE: 05.13.2015  
REVISIONS: DATE  
Per COW Cmnts 6.19.15

Plant Schedule 02

STORMWATER MANAGEMENT PLAN  
APPROVED  
CITY OF WILMINGTON  
ENGINEERING DEPARTMENT  
DATE PERMIT #  
SIGNED

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan  
Name Date  
Planning  
Public Utilities  
Traffic  
Fire

DRAWN BY: CT/SP  
CHECKED BY: CT/ML

Plant Schedule

City of Wilmington Approvals 01

LP2.00

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### Landscape Maintenance Notes

THE OWNERS OF THE PROPERTY AND THEIR AGENTS, HEIRS OR ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, PRESERVATION AND MAINTENANCE OF ALL PLANTINGS AND PHYSICAL FEATURES SHOWN ON THIS PLAN. THE OWNERS SHALL BE RESPONSIBLE FOR ANNUAL MAINTENANCE OF THE VEGETATION TO INCLUDE BUT NOT LIMITED TO:

A. Fertilization: Avoid any nitrogen fertilization of cool-season grasses, such as tall fescue, after the February application until September. Fertilize lawns three times per year September 15, October 31, and February 15 according to soil test. Fertilize warm season grasses once during growing season per soil test.

B. Pruning: Purpose of pruning is to improve health and vigor of woody plants, adjustments to the foliage and branching density for visual screens and managing competition, and improving the appearance of trees and shrubs. Pruning shall be limited to removal of dead wood or branches for trees or for sight distances/safety reasons for the first year. The ANSI A300 Tree Care Operations standards should be adhered to. The pruning of shrubs shall be limited to the pruning necessary to maintain the natural shape of the plant except for sheared hedges.

1. Shrubs in buffers allowed to remain full to ground and 6'-8' height.  
2. Shrubs in streetscape buffer trimmed to continuous soft hedges below trees.  
3. Shrubs in planting islands kept trimmed to 36" maximum height.

C. Pest Control: Pre-emergent weed control for lawns and shrub beds may be applied in February. Chemical treatment for insect infestation and disease may be applied and shall be specific to the problem.

D. Mulching: Mulching shall be maintained at a depth of 2"-3" in plant beds. Mulch shall be reapplied every year.

E. Mowing primary fescue lawns shall be maintained at a height of 3". Secondary turf areas may be maintained higher and less frequently. Warm season grasses shall be mowed as needed during the growing season to maintain the recommended height of the species of turf grass.

F. Plant protection: Avoid excess intrusion into the root zone area of established plantings. Install tree protection fencing as shown during construction.

G. Watering: If any irrigation system is utilized, the system shall be regulated to provide approximately 1" of rainfall per week during the growing season.

H. Maintenance notes for Bioretention Basin plant materials:  
1. Visually inspect and repair erosion around bioretention areas on a monthly basis.  
2. Inspect mulch cover monthly and replace any void area as needed; additional mulch shall be applied in the spring where needed.  
3. Remove and replace all dead or diseased vegetation twice annually. Treat all diseased shrubs and trees as needed to insure proper growth.  
4. All plant materials shall be watered by hand for two weeks after installation.  
5. Replace any deficient stakes or wires whenever needed.  
6. Remove all trash weekly.

### Landscape Planting Notes

1. Verification of total landscape material quantities as shown on the landscape plans and in the plant list shall be the responsibility of the landscape contractor. The landscape architect shall be notified of any discrepancies prior to final bidding or installation.

2. All landscape materials shall conform to the most recent American Standards for Nursery Stock established by the American Association of Nurserymen (A.A.N.).

3. Soil analysis shall be obtained by landscape contractor prior to planting. See Soil Preparation and Amendment Notes

4. Shrub bed area preparation is highly preferred to individually dug holes.

5. Trees with root flare covered by more than 1.5" of soil will be rejected prior to installation.

6. Landscape material placed in prepared holes shall be properly backfilled prior to the end of the working day.

7. All saucers shall be soaked with water and mulched immediately following installation.

8. All prepared ground cover and annual bed installations shall be properly soaked and mulched prior to the end of the day.

9. Landscape Architect shall approve any on-site plant storage area for accessibility, shade conditions, heating-in mulch material and temporary watering methods.

10. Lift and set the tree by root ball only. Do not lift using the tree trunk. Do not use tree trunk as a lever.

11. All root balls removed from containers shall be scarified by hand prior to placement and back filling with prepared soils. Hand tools are not to be used to scarify root balls.

12. All rope and wrapping twine shall be cut and removed from around the upper parts of the root ball. Metal basket wires and burlap shall be pulled back and tucked under the edges of the saucer rings on all trees and large shrubs. All synthetic burlap shall be removed from plant balls prior to back filling.

13. All plant beds or raised saucer rings shall be edged with smooth, continuous curves.

14. All plant material shall be planted at heights as illustrated in plant details.

15. Tree guying shall be performed within a week of planting. The landscape contractor shall be responsible for removing all tree guying strapping and stakes after the first full growing season or one year, whichever comes first.

16. B & B as listed under "root" in the plant list indicates balled and burlapped.

17. Contractor shall verify locations of underground utilities prior to planting. Any exposed or uncovered lines shall be shown to general contractor prior to backfilling.

18. All plant beds and raised saucer rings shall be graded to provide adequate drainage and shall be mulched as specified.

19. All materials, planting and landscape work shall conform to the current municipal authority's standard specifications and details.

20. All landscape areas that are not planted and mulched or paved shall be seeded or sodded per owner's direction with rebel IV turf type tall fescue, unless otherwise noted.

21. Tree protection fence shall be installed, inspected and approved prior to the issuance of any grading or other permits.

22. First year pruning of tree crown shall be limited to removal of dead & damaged wood.

23. The owner shall be responsible for the maintenance of all required landscaping by keeping lawns mowed, all plants maintained as disease free, all planting beds groomed and kept weed free (except in areas of preserved existing natural vegetation i.e. thickets) and kept them free from trash, debris and other materials.

24. The owner shall be responsible for the replacement of any required planting, which is removed or dies after the date of planting. Such replacement shall occur during the next planting season.

### Soil Preparation and Amendment Notes

1. Soil samples shall be taken and submitted for soil analysis to the NCDA & CS, 4300 Reedy Creek Rd., Raleigh NC, 27607-6465

2. Per recommendation of soils report; landscape contractor to supplement soil with lime, macronutrients and micronutrients.

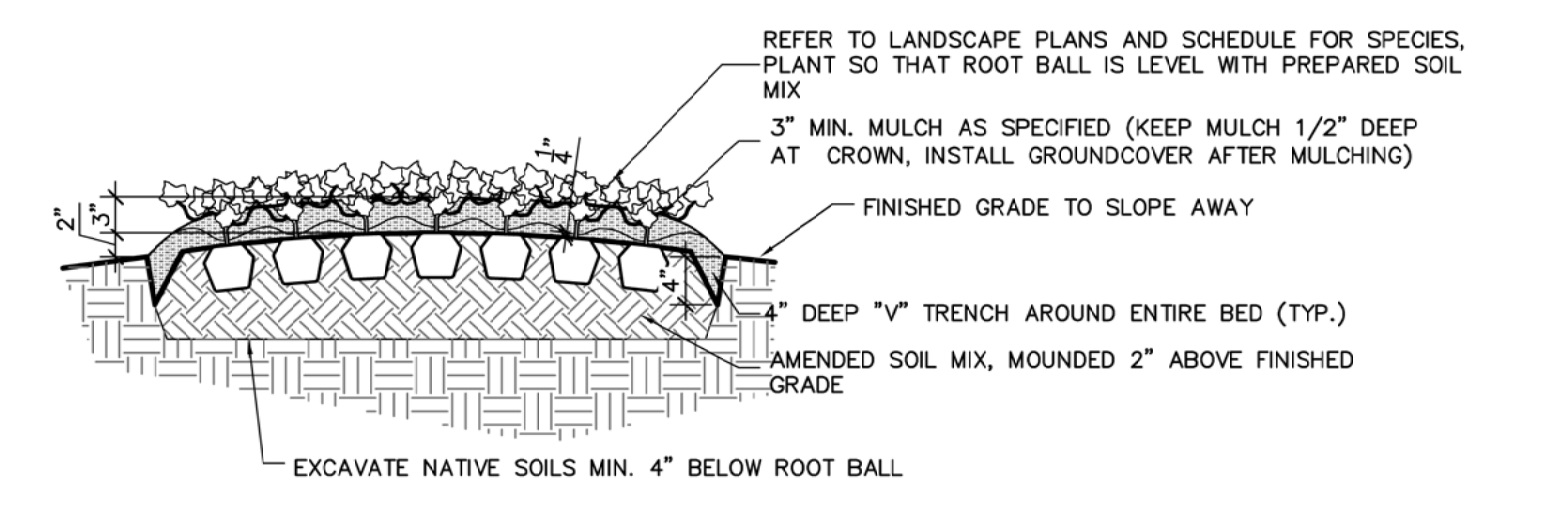
3. Contractor to amend soil with organic material and/or sand to yield the final soil ratio:  
33.3% Sand/Silt  
33.3% Clay  
33.3% Organic Material \*

\* Organic material to be Compost made solely from plant-based products. Peat moss is allowed in sandy soils

4. Native soil, Lims, Nutrients and Amendments to be tilled to a minimum width of 3-5 x root ball for trees. Shrub and groundcover planting areas shall be tilled to a minimum 4" below rootball or a minimum 12" deep.

#### GENERAL NOTES:

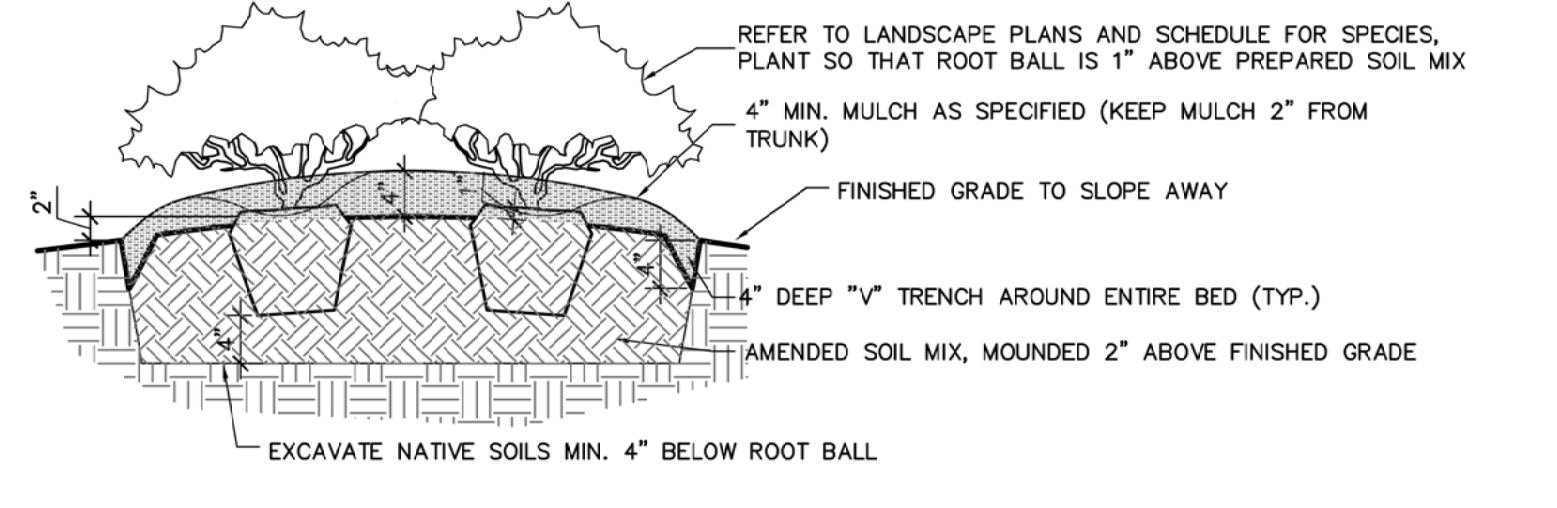
1. THOROUGHLY TILL IN PLANTING MIXTURE AMENDMENTS TO A MIN. DEPTH OF 12" IN ENTIRE BED AREA.
2. WORK SOIL TO A LOOSE, UNIFORM TEXTURE.
3. HAND-TAMP BACKFILL TO REMOVE VOIDS/AIR POCKETS.
4. WATER IMMEDIATELY AFTER INSTALLATION UNTIL NO MORE WATER IS ABSORBED.
5. SEE SOIL PREPARATION AND AMENDMENT NOTES



Typical Groundcover Planting 06

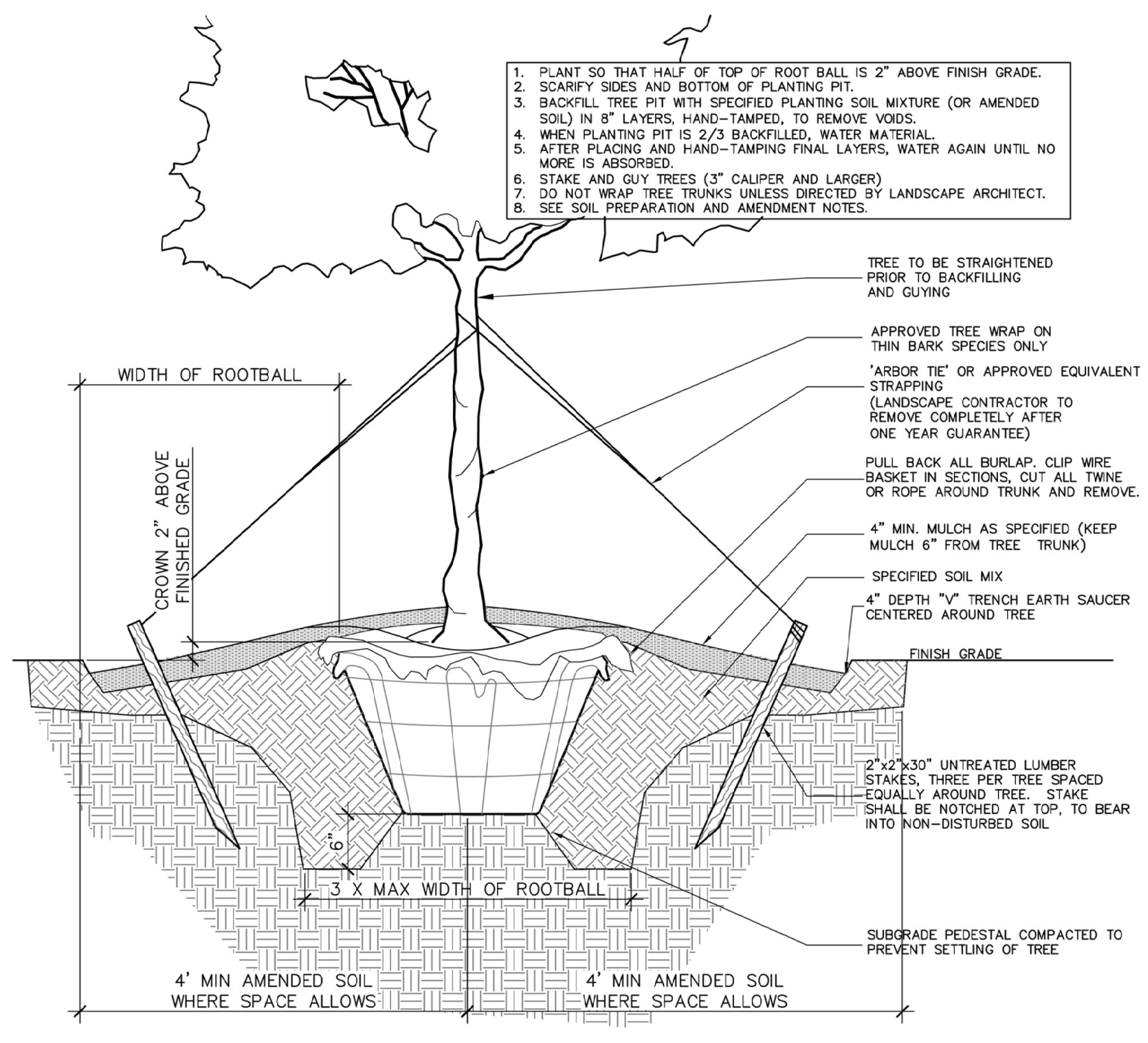
#### GENERAL NOTES:

1. PLANT SO THAT TOP OF ROOT BALL IS 1" ABOVE FINISH GRADE.
2. SCARIFY SIDES AND BOTTOM OF PLANTING PIT.
3. BACKFILL PLANTING PIT WITH SPECIFIED PLANTING SOIL MIXTURE (OR AMENDED SOIL) IN 6" LAYERS, HAND-TAMPED, TO REMOVE VOIDS.
4. WHEN PLANTING PIT IS 2/3 BACKFILLED, WATER MATERIAL.
5. AFTER PLACING AND HAND-TAMPING FINAL LAYERS, WATER AGAIN UNTIL NO MORE IS ABSORBED.
6. ROOTBALL IS TO BE DISTURBED SO THAT ROOTS WILL GROW OUT INTO SOIL MIX
7. SEE SOIL PREPARATION AND AMENDMENT NOTES



Typical Shrub Planting 05

1. PLANT SO THAT HALF OF TOP OF ROOT BALL IS 2" ABOVE FINISH GRADE.
2. SCARIFY SIDES AND BOTTOM OF PLANTING PIT.
3. BACKFILL TREE PIT WITH SPECIFIED PLANTING SOIL MIXTURE (OR AMENDED SOIL) IN 8" LAYERS, HAND-TAMPED, TO REMOVE VOIDS.
4. WHEN PLANTING PIT IS 2/3 BACKFILLED, WATER MATERIAL.
5. AFTER PLACING AND HAND-TAMPING FINAL LAYERS, WATER AGAIN UNTIL NO MORE IS ABSORBED.
6. STAKE AND GUY TREES (3" CALIPER AND LARGER)
7. DO NOT WRAP TREE TRUNKS UNLESS DIRECTED BY LANDSCAPE ARCHITECT.
8. SEE SOIL PREPARATION AND AMENDMENT NOTES.



Typical Tree Planting 04

Landscape Maintenance Notes 03

Planting and Soil Notes 02

STORMWATER MANAGEMENT PLAN  
APPROVED  
CITY OF WILMINGTON  
ENGINEERING DEPARTMENT  
DATE \_\_\_\_\_ PERMIT # \_\_\_\_\_  
SIGNED \_\_\_\_\_

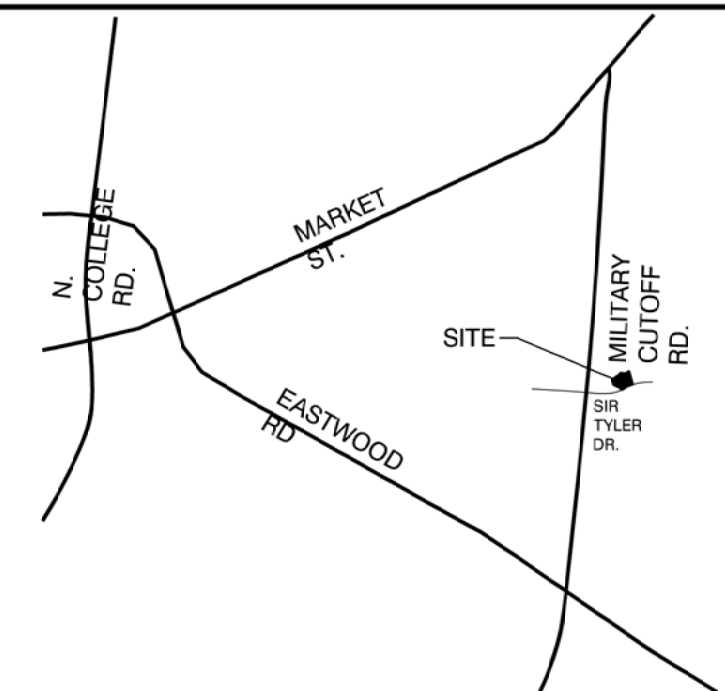
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan

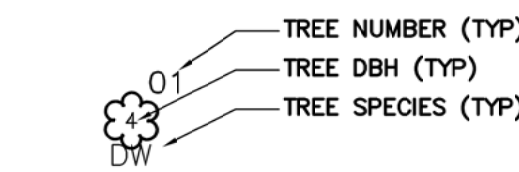
Name	Date
Planning	_____
Public Utilities	_____
Traffic	_____
Fire	_____

City of Wilmington Approvals 01

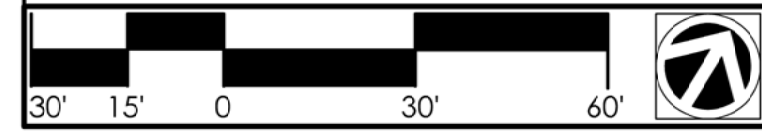
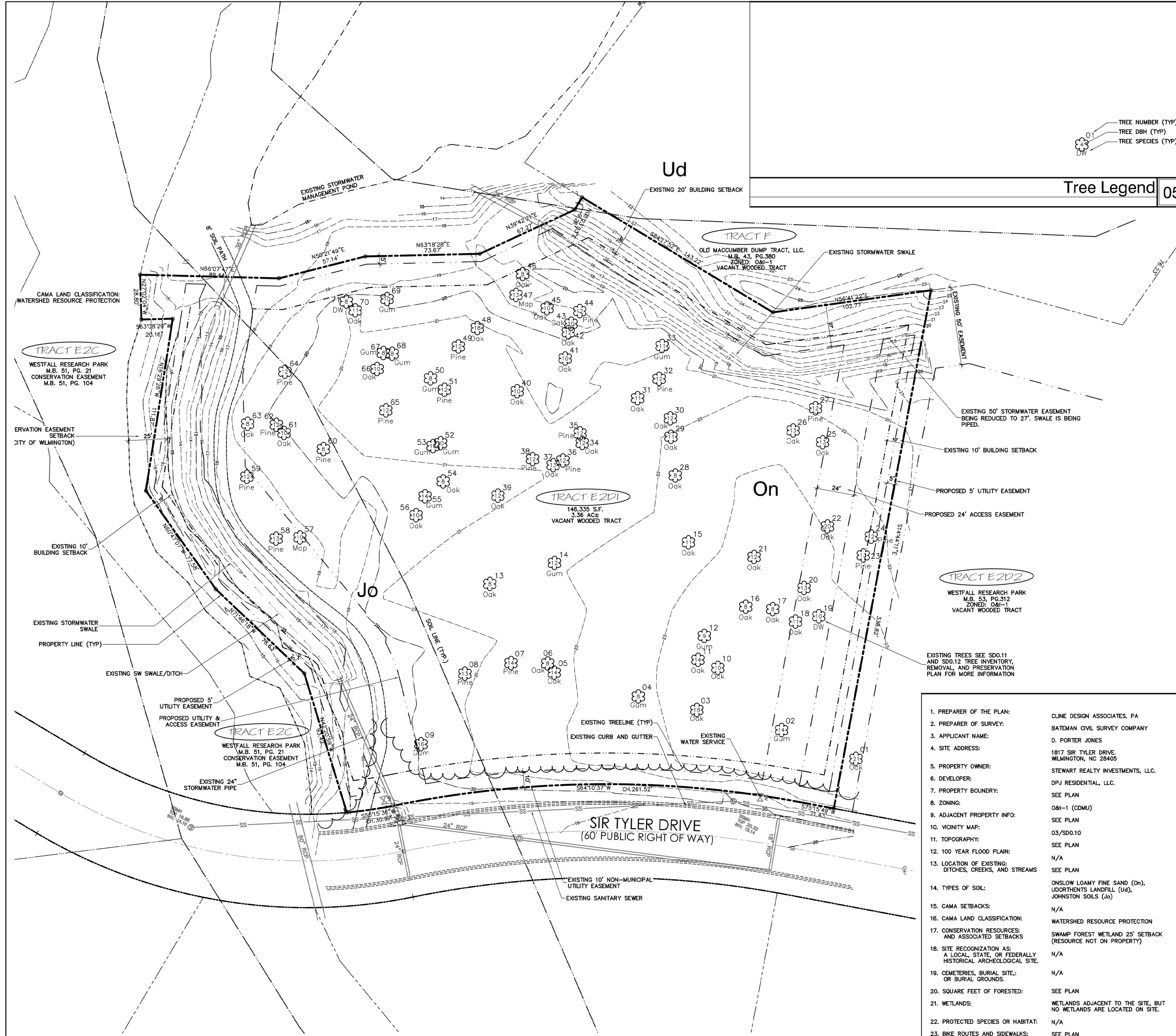




Vicinity Map 03  
Not to Scale



Tree Legend 05



Existing Conditions & Site Inventory Plan 06  
Scale: 1" = 30'

1. PREPARER OF THE PLAN:	CLINE DESIGN ASSOCIATES, PA
2. PREPARER OF SURVEY:	BATEMAN CIVIL SURVEY COMPANY
3. APPLICANT NAME:	D. PORTER JONES
4. SITE ADDRESS:	1817 SIR TYLER DRIVE, WILMINGTON, NC 28405
5. PROPERTY OWNER:	STEWART REALTY INVESTMENTS, LLC.
6. DEVELOPER:	DPJ RESIDENTIAL, LLC.
7. PROPERTY BOUNDARY:	SEE PLAN
8. ZONING:	O&I-1 (CDMU)
9. ADJACENT PROPERTY INFO:	SEE PLAN
10. VICINITY MAP:	03/SDO.10
11. TOPOGRAPHY:	SEE PLAN
12. 100 YEAR FLOOD PLAIN:	N/A
13. LOCATION OF EXISTING DITCHES, CREEKS, AND STREAMS:	SEE PLAN
14. TYPES OF SOIL:	ONSLOW LOAMY FINE SAND (On), UDORTENTS LANDFILL (Ud), JOHNSTON SOILS (Jo)
15. CAMA SETBACKS:	N/A
16. CAMA LAND CLASSIFICATION:	WATERSHED RESOURCE PROTECTION
17. CONSERVATION RESOURCES AND ASSOCIATED SETBACKS:	SWAMP FOREST WETLAND 25' SETBACK (RESOURCE NOT ON PROPERTY)
18. SITE RECOGNITION AS A LOCAL, STATE, OR FEDERALLY HISTORICAL ARCHEOLOGICAL SITE:	N/A
19. CEMETERIES, BURIAL SITE, OR BURIAL GROUNDS:	N/A
20. SQUARE FEET OF FORESTED:	SEE PLAN
21. WETLANDS:	WETLANDS ADJACENT TO THE SITE, BUT NO WETLANDS ARE LOCATED ON SITE.
22. PROTECTED SPECIES OR HABITAT:	N/A
23. BIKE ROUTES AND SIDEWALKS:	SEE PLAN

Site Inventory Data 04

No	CALL IN	DESC	CATEGORY
02	14	Gum	REG-TREE-DEMO
03	18	Oak	REG-TREE-DEMO
04	8	Gum	REG-TREE-DEMO
05	14	Oak	REG-TREE-DEMO
06	9	Oak	REG-TREE-DEMO
07	14	Pine	REG-TREE-DEMO
08	13	Pine	REG-TREE-DEMO
09	18	Gum	REG-TREE-DEMO
10	10	Oak	REG-TREE-DEMO
11	14	Oak	REG-TREE-DEMO
12	9	Gum	REG-TREE-DEMO
13	8	Oak	REG-TREE-DEMO
14	12	Gum	REG-TREE-DEMO
15	11	Oak	REG-TREE-DEMO
16	8	Oak	REG-TREE-DEMO
17	9	Oak	REG-TREE-DEMO
18	11	Oak	REG-TREE-DEMO
19	10	DW	SIGN-TREE-DEMO
20	13	Oak	REG-TREE-DEMO
21	12	Oak	REG-TREE-DEMO
22	20	Oak	REG-TREE-DEMO
23	13	Pine	REG-TREE-DEMO
24	12	Pine	REG-TREE-DEMO
25	13	Oak	REG-TREE-DEMO
26	13	Oak	REG-TREE-DEMO
27	12	Pine	REG-TREE-DEMO
28	9	Oak	REG-TREE-DEMO
29	11	Oak	REG-TREE-DEMO
30	12	Oak	REG-TREE-DEMO
31	11	Oak	REG-TREE-DEMO
32	12	Pine	REG-TREE-DEMO
33	11	Gum	REG-TREE-DEMO
34	12	Oak	REG-TREE-DEMO
35	12	Pine	REG-TREE-DEMO
36	12	Pine	REG-TREE-DEMO
37	13	Oak	REG-TREE-DEMO
38	12	Pine	REG-TREE-DEMO
39	12	Oak	REG-TREE-DEMO
40	10	Oak	REG-TREE-DEMO
41	10	Oak	REG-TREE-DEMO
42	12	Oak	REG-TREE-DEMO
43	10	Oak	REG-TREE-DEMO
44	12	Pine	REG-TREE-DEMO
45	10	Oak	REG-TREE-DEMO
46	8	Oak	REG-TREE-DEMO
47	13	Map	REG-TREE-DEMO
48	18	Oak	REG-TREE-DEMO
49	12	Pine	REG-TREE-DEMO
50	8	Gum	REG-TREE-DEMO
51	12	Pine	REG-TREE-DEMO
52	10	Gum	REG-TREE-DEMO
53	10	Gum	REG-TREE-DEMO
54	8	Oak	REG-TREE-DEMO
55	14	Gum	REG-TREE-DEMO
56	10	Oak	REG-TREE-DEMO
57	10	Map	REG-TREE-DEMO
58	13	Pine	REG-TREE-DEMO
59	12	Pine	REG-TREE-DEMO
60	8	Pine	REG-TREE-DEMO
61	10	Oak	REG-TREE-DEMO
62	12	Pine	REG-TREE-DEMO
63	8	Oak	REG-TREE-DEMO
64	12	Pine	REG-TREE-DEMO
65	12	Pine	REG-TREE-DEMO
66	10	Oak	REG-TREE-DEMO
67	8	Gum	REG-TREE-DEMO
68	8	Gum	REG-TREE-DEMO
69	10	Gum	REG-TREE-DEMO
70	11	Oak	REG-TREE-DEMO
71	8	DW	SIGN-TREE-DEMO

Site Inventory and Mitigation Data 02

STORMWATER MANAGEMENT PLAN  
APPROVED  
CITY OF WILMINGTON  
ENGINEERING DEPARTMENT  
DATE \_\_\_\_\_ PERMIT # \_\_\_\_\_  
SIGNED \_\_\_\_\_

Approved Construction Plan  
Name \_\_\_\_\_ Date \_\_\_\_\_  
Planning \_\_\_\_\_  
Public Utilities \_\_\_\_\_  
Traffic \_\_\_\_\_  
Fire \_\_\_\_\_

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

City of Wilmington Approvals 01

DPJ Residential  
Westfall Park Apartments Mixed Use  
1817 Sir Tyler Drive  
Wilmington, North Carolina

Preliminary TRC Review

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

PROJECT: 215007  
DATE: 05.13.2015  
REVISIONS: \_\_\_\_\_ DATE \_\_\_\_\_  
Per COW Cmnts 6.19.15

DRAWN BY: CT/SP  
CHECKED BY: CT/ML  
Existing Conditions & Site Inventory Plan



## DPJ Residential Westfall Park Apartments Mixed Use 1817 Sir Tyler Drive Wilmington, North Carolina

Preliminary  
TRC Review

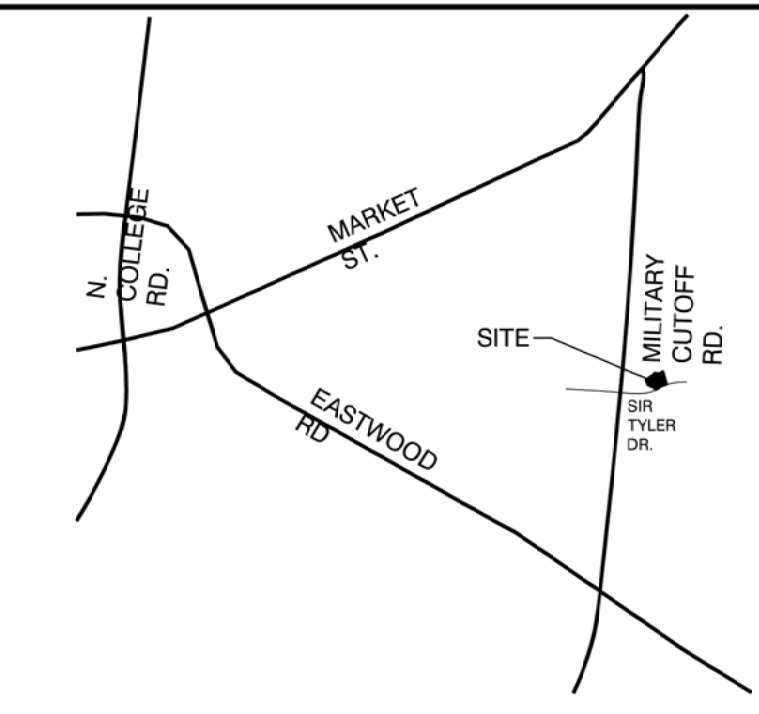
NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

PROJECT: 215007  
DATE: 05.13.2015  
REVISIONS: DATE  
Per COW Cmnts 6.19.15

DRAWN BY: CT/SP  
CHECKED BY: CT/ML  
Tree Inventory,  
Preservation and  
Removal Plan

SD0.11



Vicinity Map 03  
Not to Scale

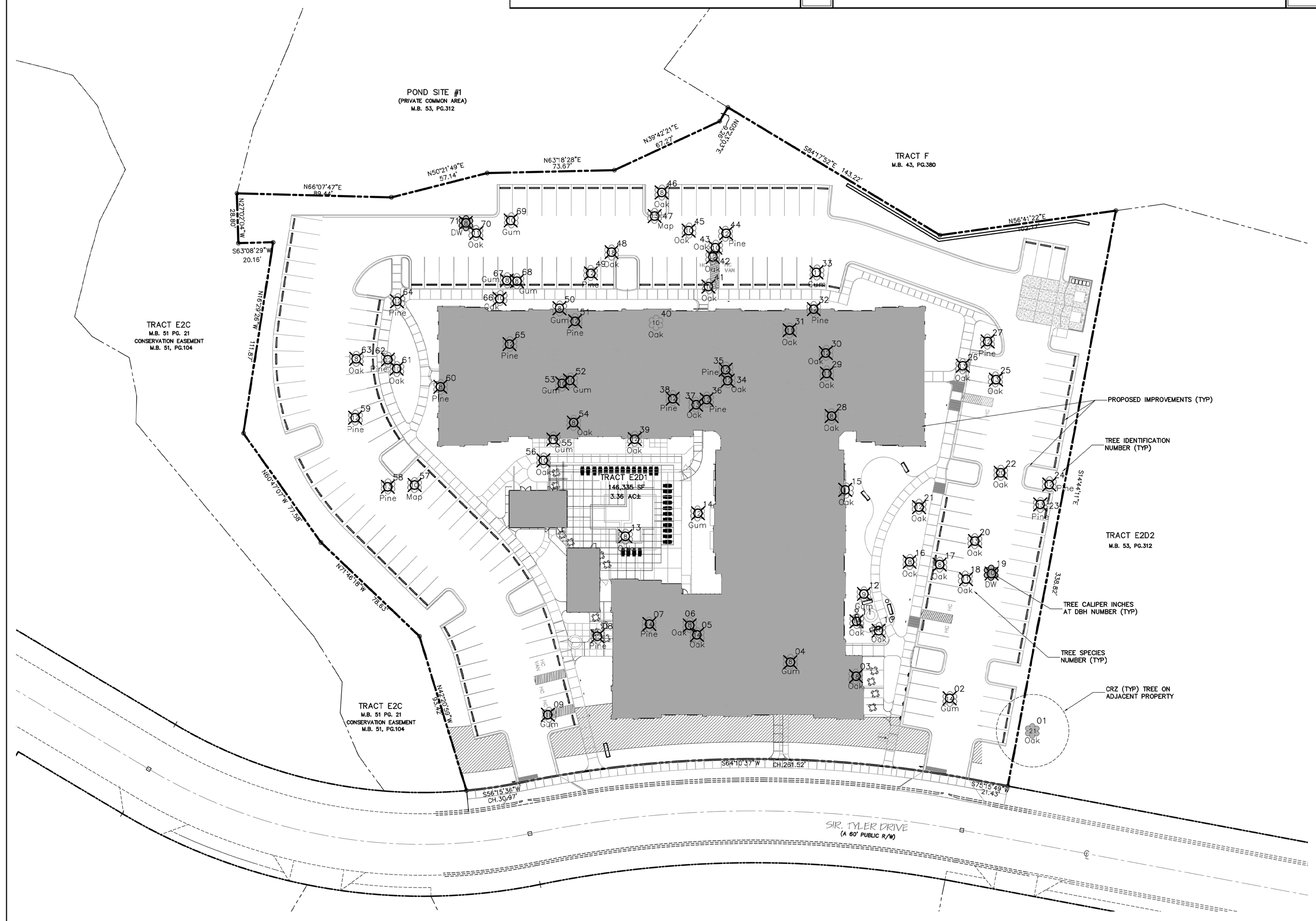
Significant		Regulated	
Save	Demo	Save	Demo
Hardwood >24"	Oak 01	Hardwood >8"	Oak 01
Longleaf Pine, Pocosin Pine, Black Pine, Non-pine Conifer >24"	Pine 01	Conifer >12"	Pine 01
Pines >32"	Pine 01	Magnolia, Dogwood, Ornamental Flowering, American Holly >8"	DW 01
Magnolia, Dogwood, Ornamental Flowering, American Holly >8"	DW 01		

TREE NUMBER (TYP)  
 TREE DBH (TYP)  
 TREE SPECIES (TYP)

Tree Legend 05

- EXISTING TREE INFORMATION PROVIDED BY BATEMAN CIVIL SURVEY COMPANY, DATED MAY 01, 2015.
- THE EXISTING TREE SURVEY SHOWS PROTECTED TREES AS DEFINED IN THE CITY OF WILMINGTON LAND DEVELOPMENT CODE ONLY.

General Notes 06



No.	CAL IN	DESC	CATEGORY	Mitigation %	Mitigation Trees
19	10	DW	SIGN-TREE-DEMO	1	6.66
71	8	DW	SIGN-TREE-DEMO	1	5.328
18 Demo'd Signature Tree Cal. Inches					11.988 Total Mitigation Trees

Signature Tree Mitigation Data 02

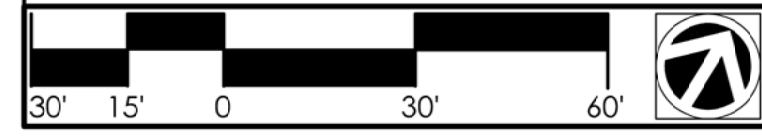
STORMWATER MANAGEMENT PLAN  
APPROVED  
CITY OF WILMINGTON  
ENGINEERING DEPARTMENT  
DATE: PERMIT #  
SIGNED:

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan	
Name	Date
Planning	
Public Utilities	
Traffic	
Fire	

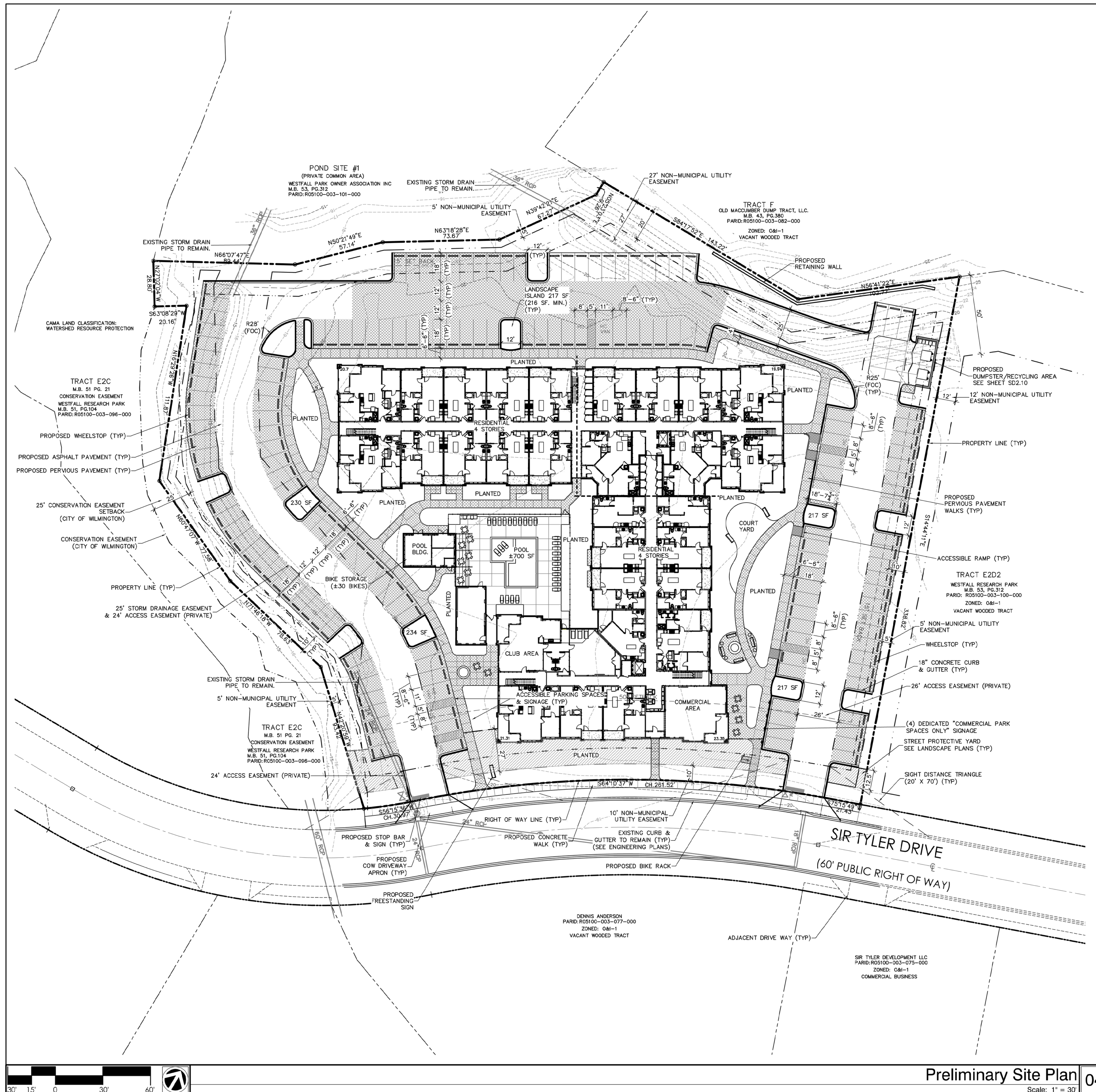
Tree Inventory Plan 04  
Scale: 1" = 30'

City of Wilmington Approvals 01



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1. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT CPPIA, CITY OF WILMINGTON, AND THE STATE OF NORTH CAROLINA STANDARDS.
2. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
3. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
4. IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. THE SUBDIVIDER MAY ACQUIRE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTRACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBDIVIDER SHALL PAY THE COST OF SUCH INSTALLATION. CONTACT TRAFFIC ENGINEERING AT 910-341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
5. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
6. CONTACT TRAFFIC ENGINEERING AT 910-341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN. CONTACT TRAFFIC ENGINEERING AT 910-341-7888 FORTY EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
7. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBS WILL BE REPLACED.
8. CONTACT TRAFFIC ENGINEERING AT 343-7888 AT THE CITY OF WILMINGTON TO DISCUSS STREET LIGHTING OPTIONS.
9. PROJECT SHALL COMPLY WITH CITY OF WILMINGTON CROSS CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 343-3910 FOR INFORMATION.
10. IF THE CONTRACTOR DESIRES CITY WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
11. ANY IRRIGATION SYSTEM SUPPLIED BY CITY WATER SHALL COMPLY WITH THE CITY'S CROSS CONNECTION CONTROL REGULATIONS. CALL 343-3910 FOR INFORMATION.
12. ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CITY WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USFCCCHR OR ASSE.
13. REFER TO LANDSCAPING PLAN FOR LOCATION OF STREET TREES AND ADDITIONAL NOTES.
14. CONTACT THE NORTH CAROLINA ONE CALL CENTER PRIOR TO DOING ANY DIGGING. 1-800-332-4949
15. THE BELLSOUTH CONTRACT IS STEVE DAY/VAULT IS THE BUILDING INDUSTRY CONSULTANT (P) [910] 392-8712. PLEASE CONTACT HIM PRIOR TO STARTING THE PROJECT IN ORDER TO FACILITATE GOOD COMMUNICATION AND MAXIMUM FLEXIBILITY.
16. THE PROCESS FOR TELEPHONE CABLE PLACEMENT:
  - FRANK CRANE WILL NEED TO BE ESTABLISHED.
  - POWER WILL PLACE THEIR CABLE FIRST-THEY GO IN AT APPROX 3 FT DEEP.
  - BELLSOUTH/CABLE TV WILL THEN PLACE THEIR CABLE AT APPROX. 2 FT DEEP.
17. ALL FEDERAL, STATE AND LOCAL PERMITS ARE REQUIRED PRIOR TO FULL CONSTRUCTION RELEASE. THIS INCLUDES, BUT NOT LIMITED TO: STATE STORM WATER, STATE UTILITY EXTENSION PERMITS, WETLAND DISTURBANCE PERMITS, CITY STORM WATER, TREE PROTECTION PERMITS, ETC.
18. ADMINISTRATIVE VARIANCE REQUEST FOR 314 PARKING SPACES IN EXCESS OF 500 FROM PUBLIC RIGHT OF WAY. REQUEST DOCUMENTATION ON FILE WITH CITY OF WILMINGTON IN CONJUNCTION WITH THIS SUBMITTAL.
19. DIMENSIONS ARE FROM BACK OF CURB UNLESS OTHERWISE NOTED.
20. ALL TRAFFIC CONTROL, SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
21. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
22. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 910-341-5888 FOR MORE DETAILS.
23. INSTALL REFLECTORS PER CITY AND NCDOT STANDARDS. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING LAYOUT PRIOR TO ACTUAL STRIPING.
24. CONTACT TRAFFIC ENGINEERING AT 910-341-7888 FORTY EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
25. CONTACT TRAFFIC ENGINEERING AT 910-341-7888 FORTY EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY TO ENSURE THAT ALL TRAFFIC FACILITIES AND EQUIPMENT ARE PROPERLY LOCATED.
26. IMMEDIATELY NOTIFY CITY OF WILMINGTON TRAFFIC ENGINEERING AT 910-341-7888 IF ANY TRAFFIC SIGNAL FACILITIES OR CITY OWNED STREETLIGHT FACILITIES ARE DAMAGED.
27. DAMAGED FACILITIES SHALL BE REPLACED, BY AN APPROVED CONTRACTOR, ACCORDING TO STANDARD NCDOT REPLACEMENT SCHEDULES AND CURRENT NCDOT DESIGN STANDARDS.
28. ALL REPAIR/REPLACEMENT OF TRAFFIC SIGNAL INFRASTRUCTURE SHALL BE COORDINATED WITH THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION.
29. A PORTION OF THE SITE IS LOCATED IN THE CONSERVATION RESOURCE AREA AND MUST MEET ARTICLE 10, EXCEPTIONALLY DESIGNED CRITERIA. PLANS AND DOCUMENTS SHALL BE RECORDED TO PROVIDE PERPETUAL PROTECTIONS FOR CONSERVATION RESOURCE AND BUFFERS AND PROHIBIT IMPERVIOUS SURFACES WITHIN THE BUFFER SETBACK, UNLESS EXCEPTIONS ARE PROVIDED BY THE LDC.

### Site Notes 02

OWNER/DEVELOPER	DPJ RESIDENTIAL	MAXIMUM BUILDING HEIGHT	45'
CONTACT	PORTER JONES	PROPOSED BUILDING HEIGHT	44'-6" (FLAT ROOF)
ADDRESS	1320 FILLMORE AVE. SUITE 100	NUMBER OF STORES	4
PIN NUMBER	CHARLOTTE, NC 28203	BUILDING 1ST FLOOR	37,338 SF.
PARID	R05100-003-099-000	2ND FLOOR	37,165 SF.
CURRENT ZONING	O&I 1 (CDMU)	3RD FLOOR	37,165 SF.
BUILDING SETBACKS (REQUIRED)		4TH FLOOR	37,165 SF.
FRONT	20'	IMPERVIOUS SURFACE	000 SF.
SIDE	10'	PRE-CONSTRUCTION	(00%)
REAR	20'	POST-CONSTRUCTION	64,369 SF. (44.0%)
BUILDING SETBACKS (PROPOSED)		AVERAGE GRADE AT BUILDING CORNERS	21.91 (21.27+22.04+21.30+23.01=87.62 /4)
FRONT	20'		
SIDE	10'		
REAR	20'		
TRACT LOT AREA	3.36 AC. (146,335 SF.)		
EXISTING BUILDING SF.	0		
PROPOSED TOTAL BUILDING SF.	149,833 SF.		
PROPOSED RESIDENTIAL SF.	144,976 SF.		
(INCLUDES CORRIDORS)			
PROPOSED COMMERCIAL	1,349 SF.		
PROPOSED CLUB AREA	2,193 SF.		
PROPOSED LEASING	708 SF.		
ACRES TO BE DEVELOPED	3.36 ACRES (146,335 SF.)		
EXISTING BUILDING LOT COVERAGE	00 SF. (00%)		
PROPOSED BUILDING LOT COVERAGE	39,317 SF. (26%)		
NUMBER OF UNITS	121 RESIDENTIAL		
	ONE BEDROOM 81		
	TWO BEDROOM 40		
NUMBER OF BUILDINGS	1 RESIDENTIAL		
POOL BUILDING			
LEASING			

PARKING		
PARKING ALLOWED	MINIMUM (CDMU)	MAXIMUM
RESIDENTIAL-ONE BEDROOM	(1.0 SPACES/UNITX 81) = 81	(2.5 SPACES/UNITX 81) = 203
RESIDENTIAL-TWO BEDROOM	(1.0 SPACES/UNITX 40) = 40	(2.5 SPACES/UNITX 40) = 100
COMMERCIAL	(1,349 SF @ 1/200 SF) = 7	(1,349 SF @ 1/200 SF) = 7
OFFICE	(0,000 SF @ 1/200 SF) = 0	(0,000 SF @ 1/200 SF) = 0
CLUB AREA	(1,271 SF @ 1/250 SF) = 5	(1,271 SF @ 1/250 SF) = 5
POOL	(4,200 SF @ 1/200 SF) = 21	(4,200 SF @ 1/200 SF) = 21
	TOTAL 125	TOTAL 336
PROPOSED BUILDING TYPE 'A' ACCESSIBLE UNITS	6	
PROPOSED BUILDING TYPE 'B' ACCESSIBLE UNITS	115	
PROPOSED PARKING TOTAL	160 SPACES	
REQUIRED ACCESSIBLE PARKING SPACES	10	
(TYPE 'A' + TYPE 'B' + COMMERCIAL = 1)		
PROPOSED ACCESSIBLE PARKING SPACES	10	
REQUIRED BICYCLE PARKING	13 SPACES	
(25+ (100+5 + 35-5))		
PROVIDED BICYCLE PARKING	32 SPACES	
(BICYCLE STORAGE 30 SPACES + BIKE RACK 2 SPACES)		
TREE SURVEY	SEE SHEET SDO.11 FOR DETAILED INFORMATION.	

### Site Inventory Data 02

PROJECT:	215007
DATE:	05.13.2015
REVISIONS:	DATE
Per COW Cmnts	6.19.15

STORMWATER MANAGEMENT PLAN APPROVED		Approved Construction Plan	
CITY OF WILMINGTON ENGINEERING DEPARTMENT		Name	Date
DATE	PERMIT #	Planning	
SIGNED		Public Utilities	
		Traffic	
		Fire	

### Preliminary Site Plan 04

### City of Wilmington Approvals 01

125 N. Harrington St.  
Raleigh, NC 27603  
919/833-6413  
919/836-1280 FAX  
ClineDesignAssoc.com  
Attn: Chris Tingle

**DPJ Residential**  
**Westfall Park Apartments Mixed Use**  
**1817 Sir Tyler Drive**  
**Wilmington, North Carolina**

Preliminary TRC Review

NOT FOR CONSTRUCTION

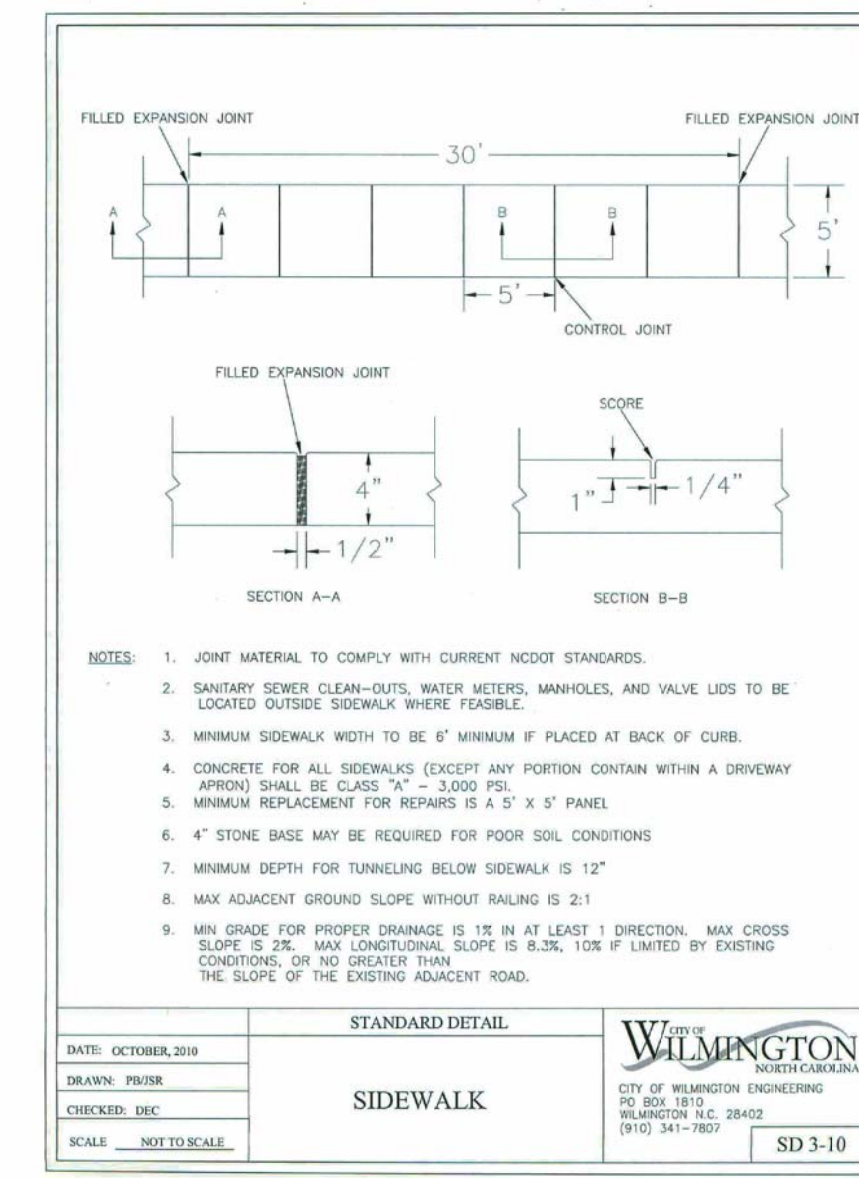
NOT FOR CONSTRUCTION

PROJECT: 215007  
DATE: 05.13.2015  
REVISIONS: DATE  
Per COW Cmnts 6.19.15

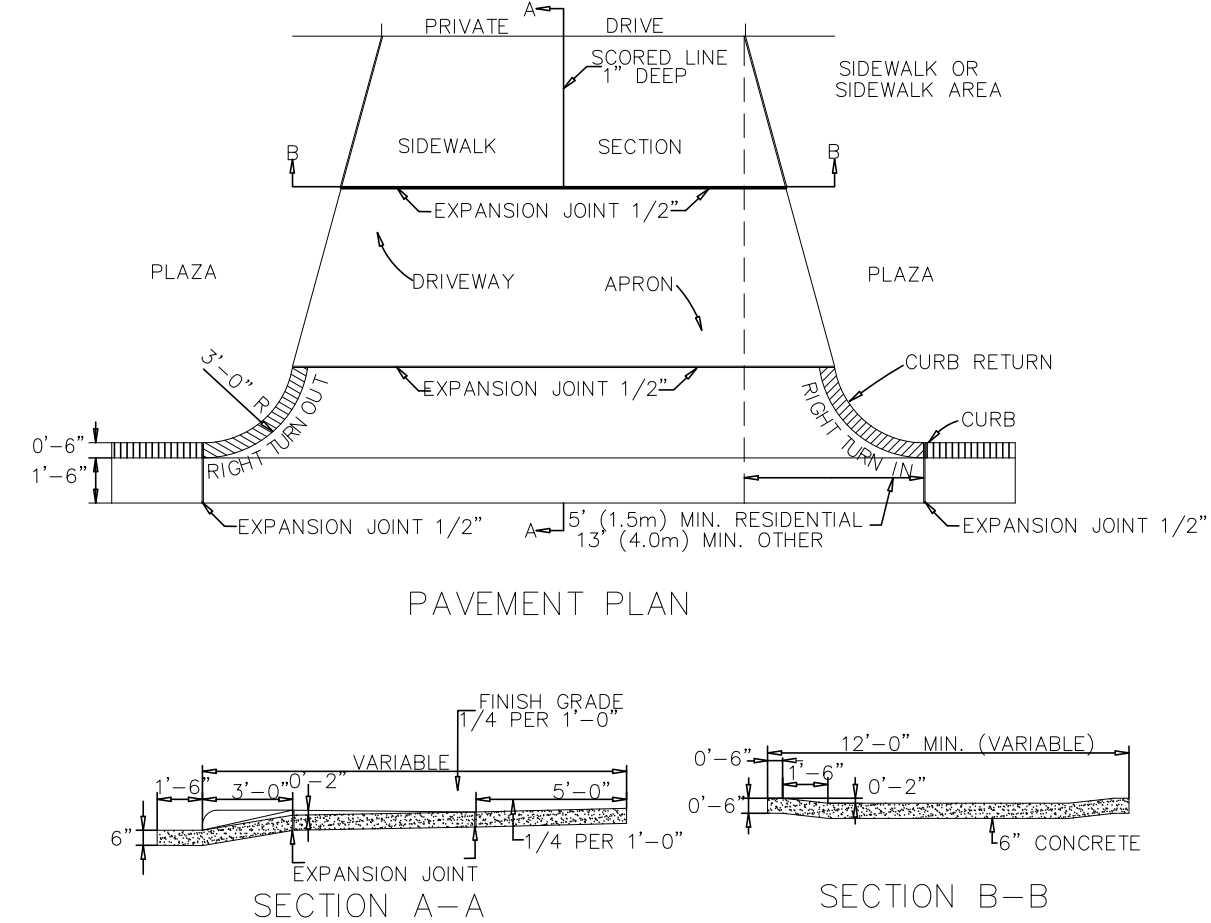
DRAWN BY: CT/SP  
CHECKED BY: CT/ML  
Preliminary Site Plan

**SD1.00**

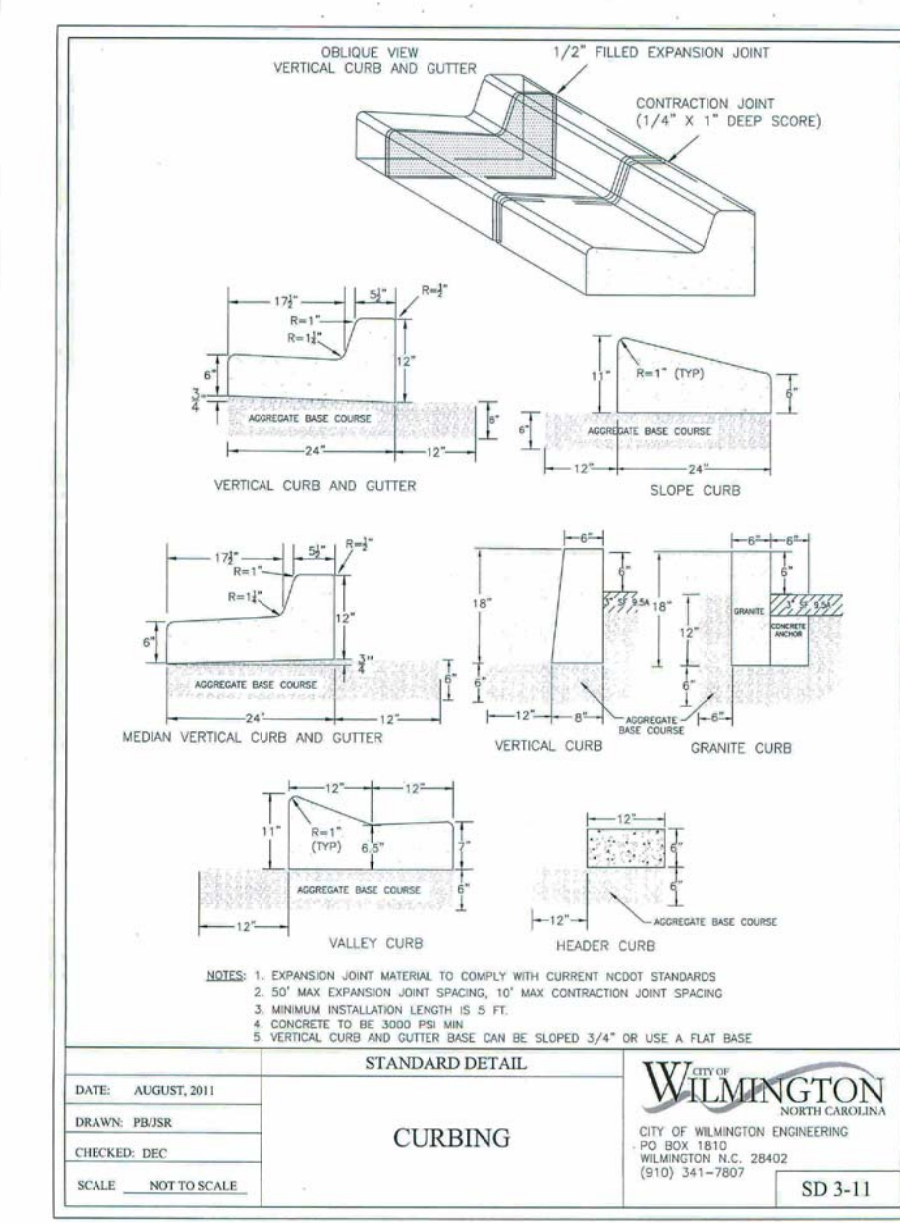




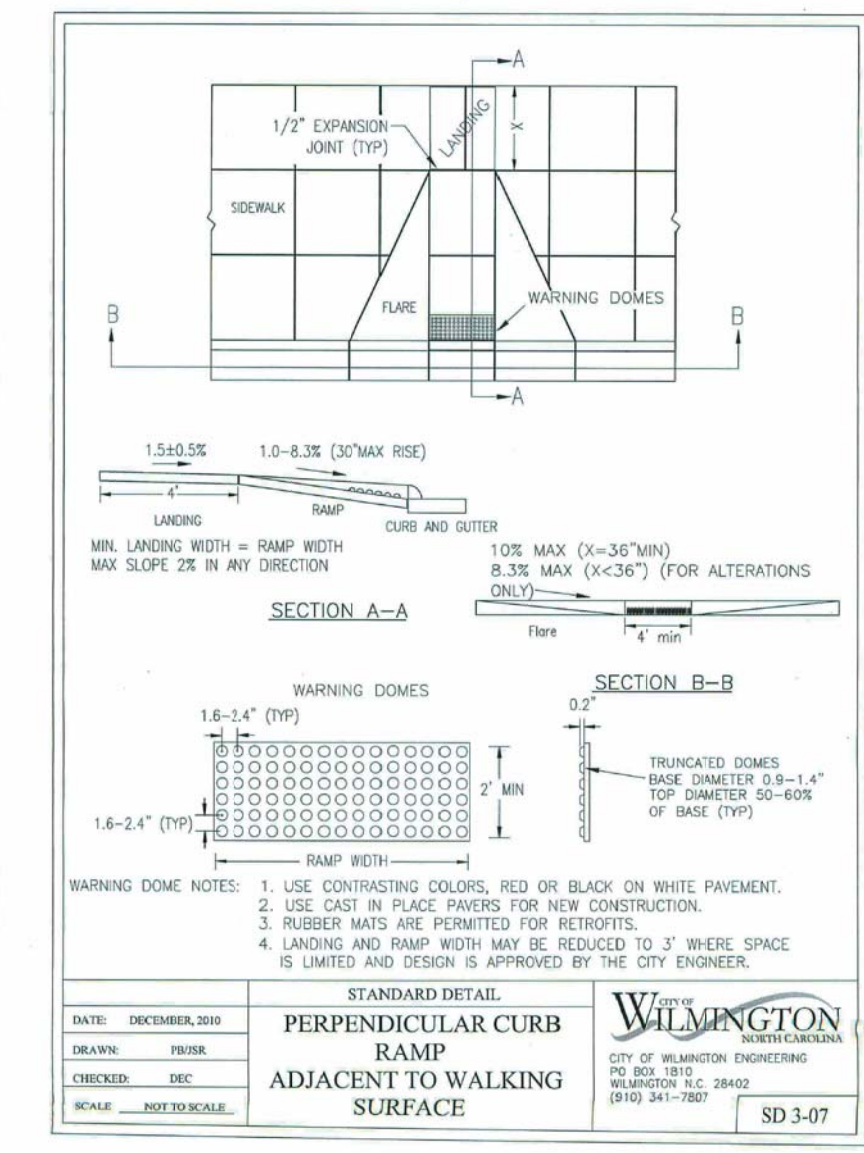
**CITY OF WILMINGTON STD. CONC. WALK** 03



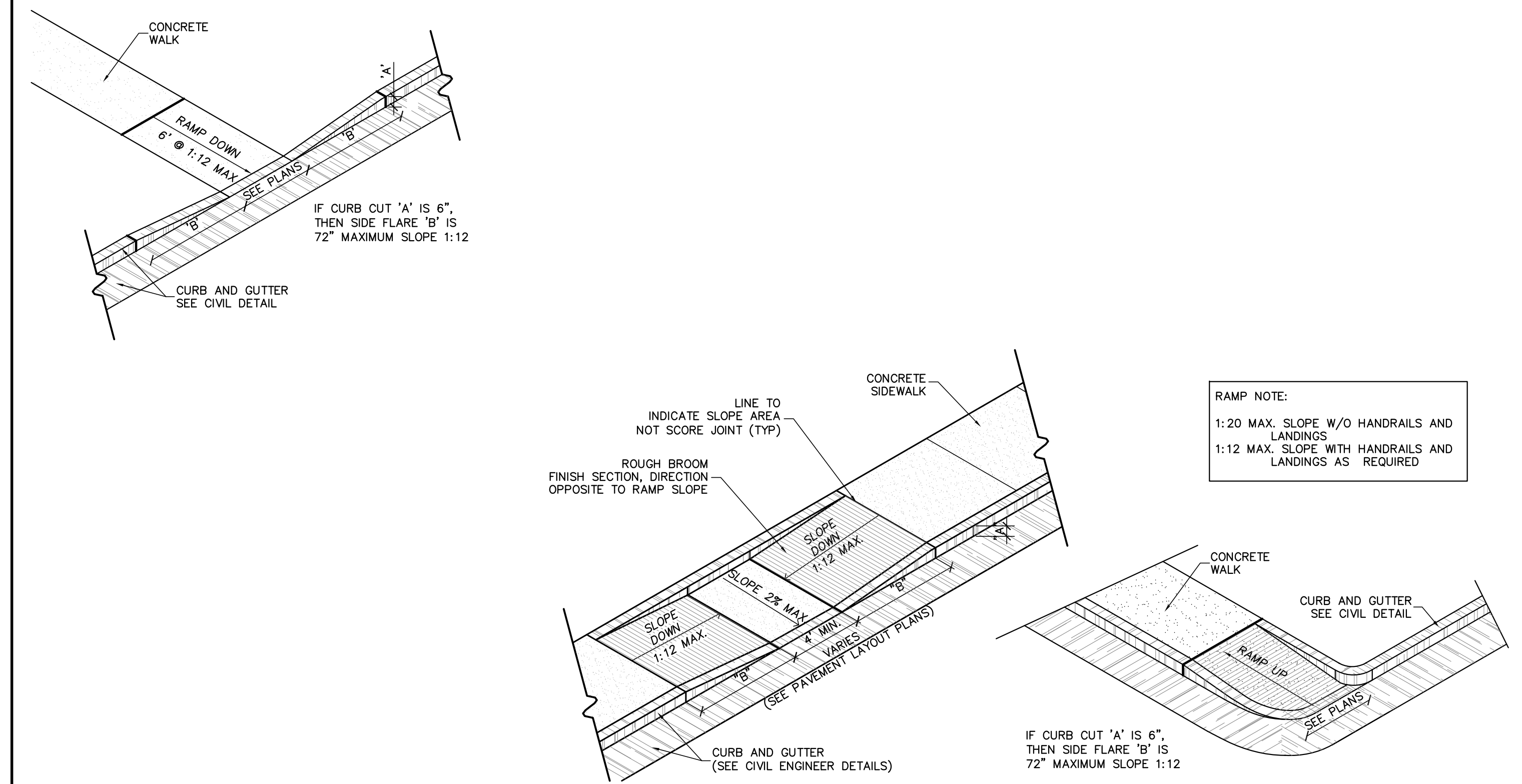
**C.O.W. STD. DRIVEWAY APRON** 06  
Scale: 1" = 10'



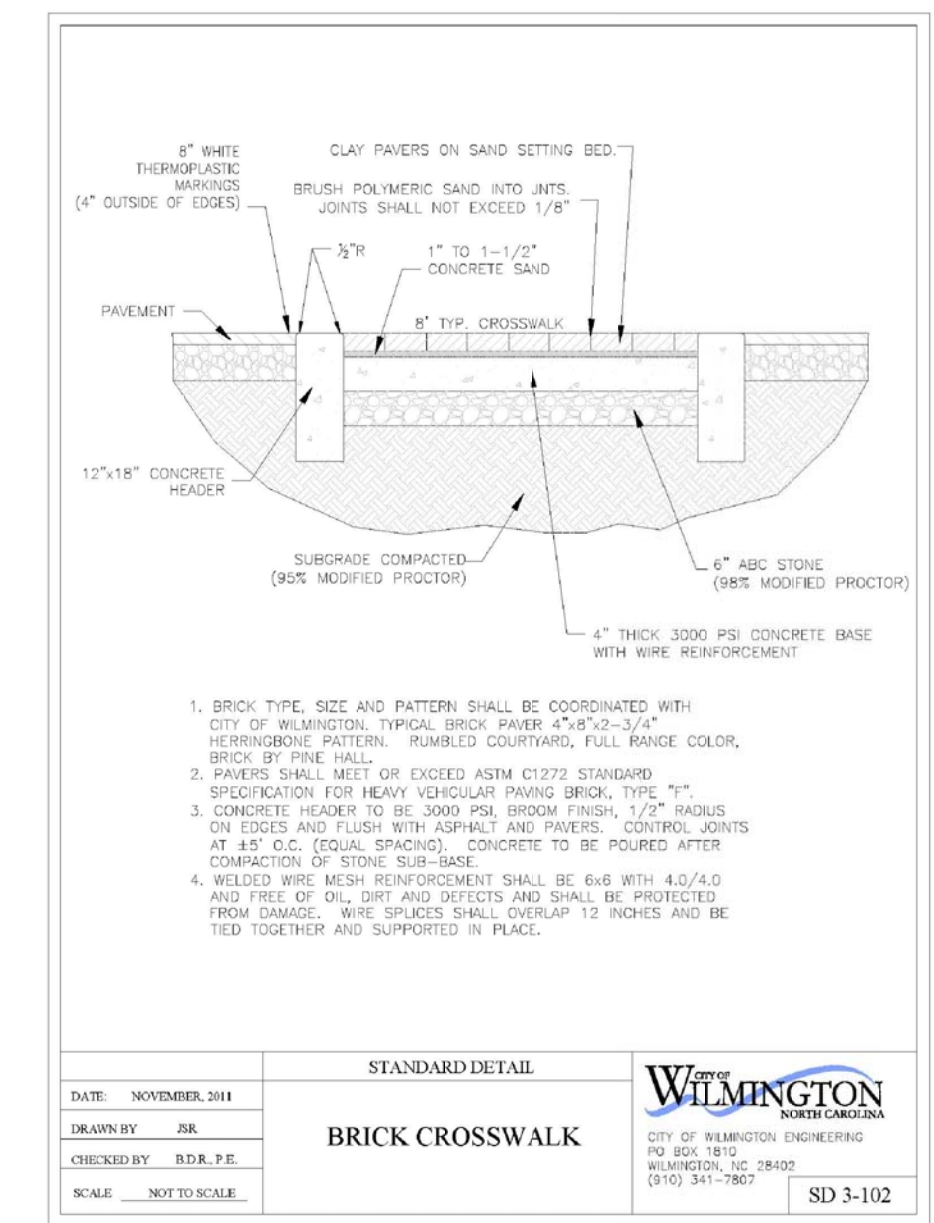
**CITY OF WILMINGTON CURB TYPE 'A'** 02



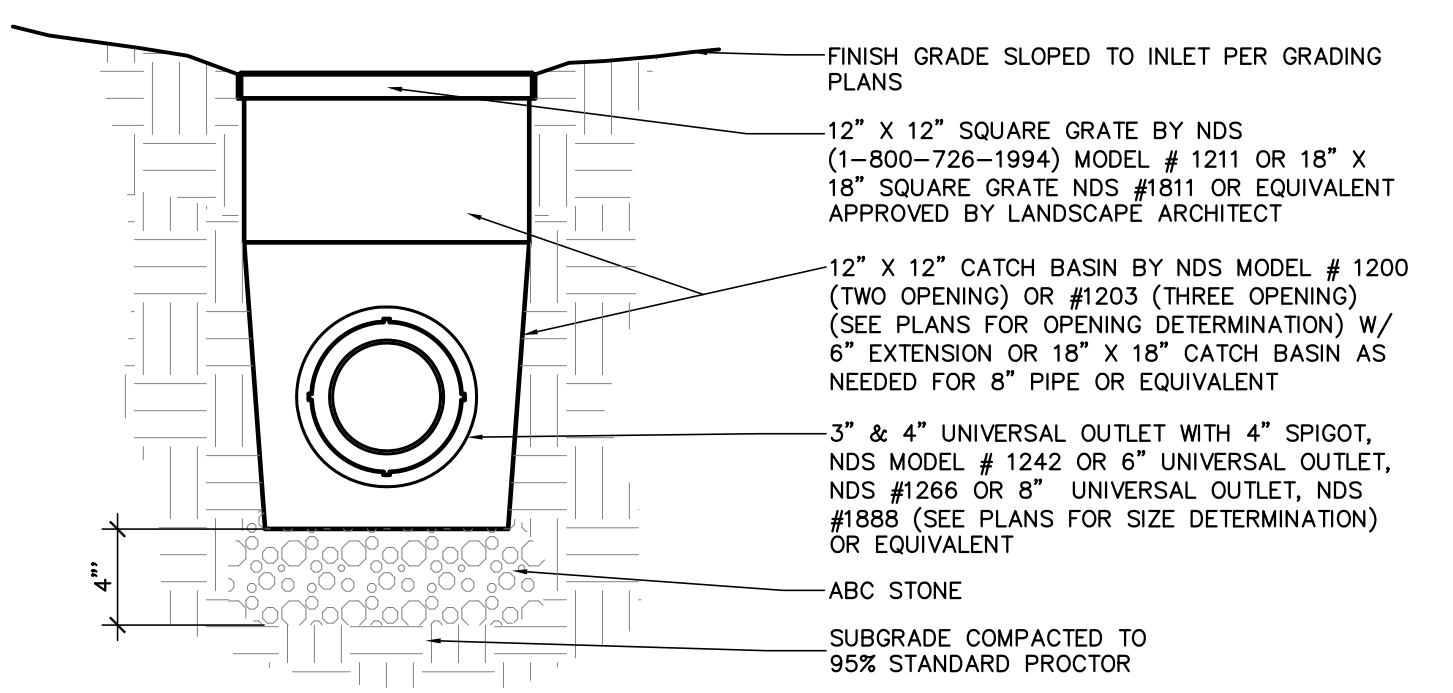
**CITY OF WILMINGTON ACCESSIBLE RAMP** 05



**ACCESSIBLE RAMPS (INTERNAL TO PROPERTY)** 08  
Scale: 1 1/2" = 1'-0"



**C.O.W STD. CROSSWALK** 04



**YARD INLET** 07  
Scale: 1 1/2" = 1'-0"

**Approved Construction Plan**

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Public Utilities \_\_\_\_\_

Traffic \_\_\_\_\_

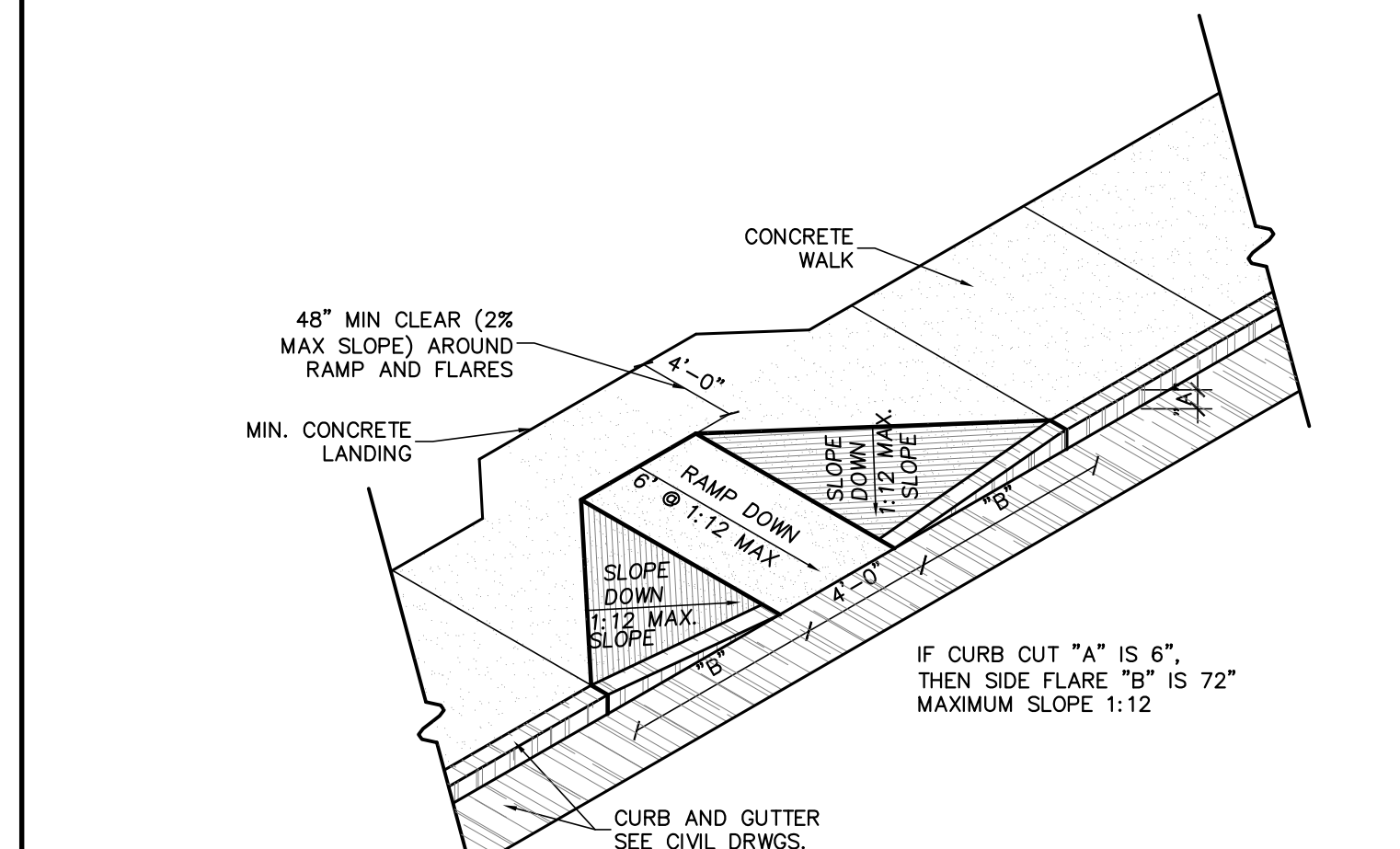
Fire \_\_\_\_\_

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**STORMWATER MANAGEMENT PLAN APPROVED**

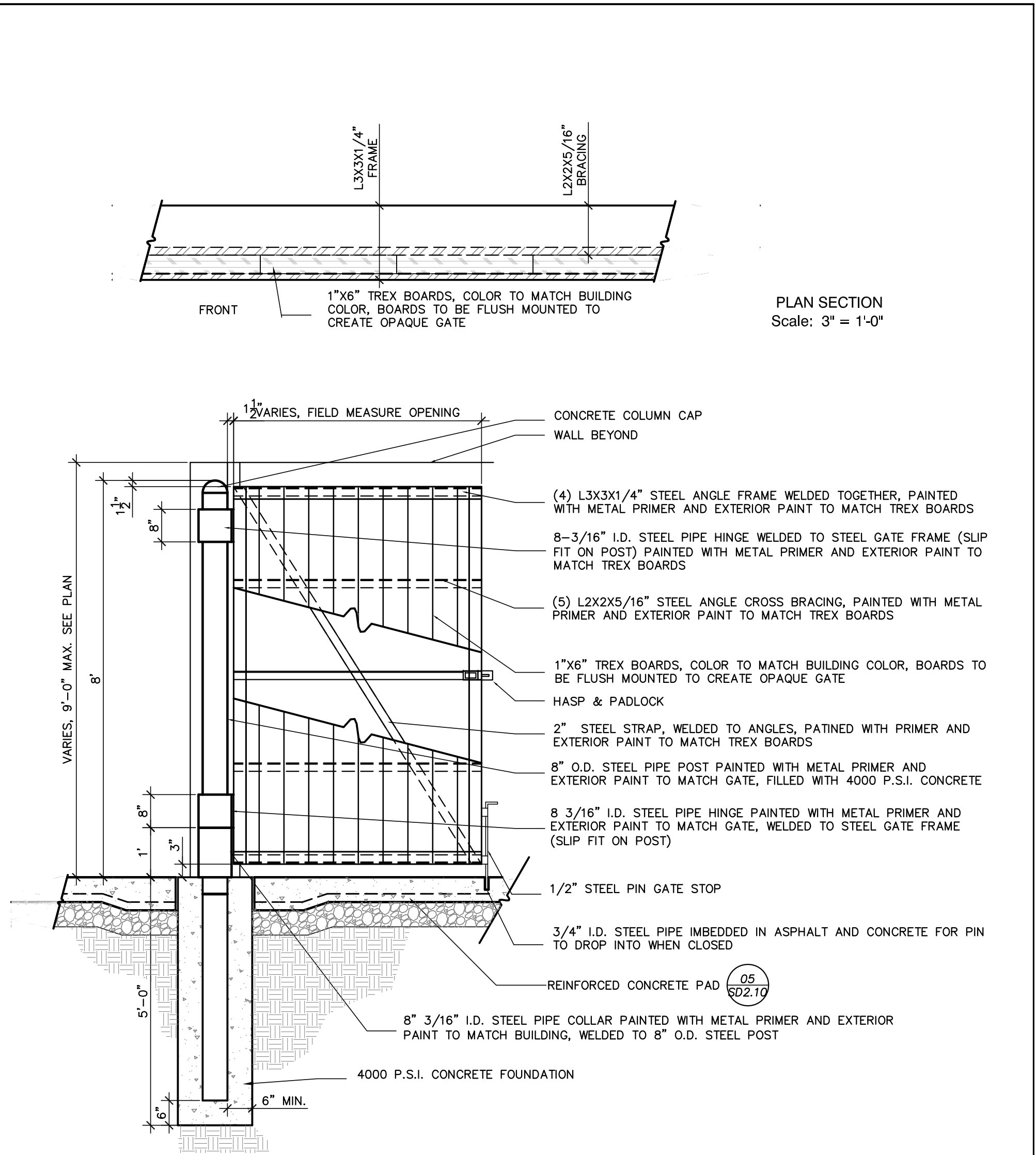
CITY OF WILMINGTON  
ENGINEERING DEPARTMENT  
DATE \_\_\_\_\_ PERMIT # \_\_\_\_\_  
SIGNED \_\_\_\_\_

**SIGNATURE BLOCKS** 01  
Scale: 1" = 10'



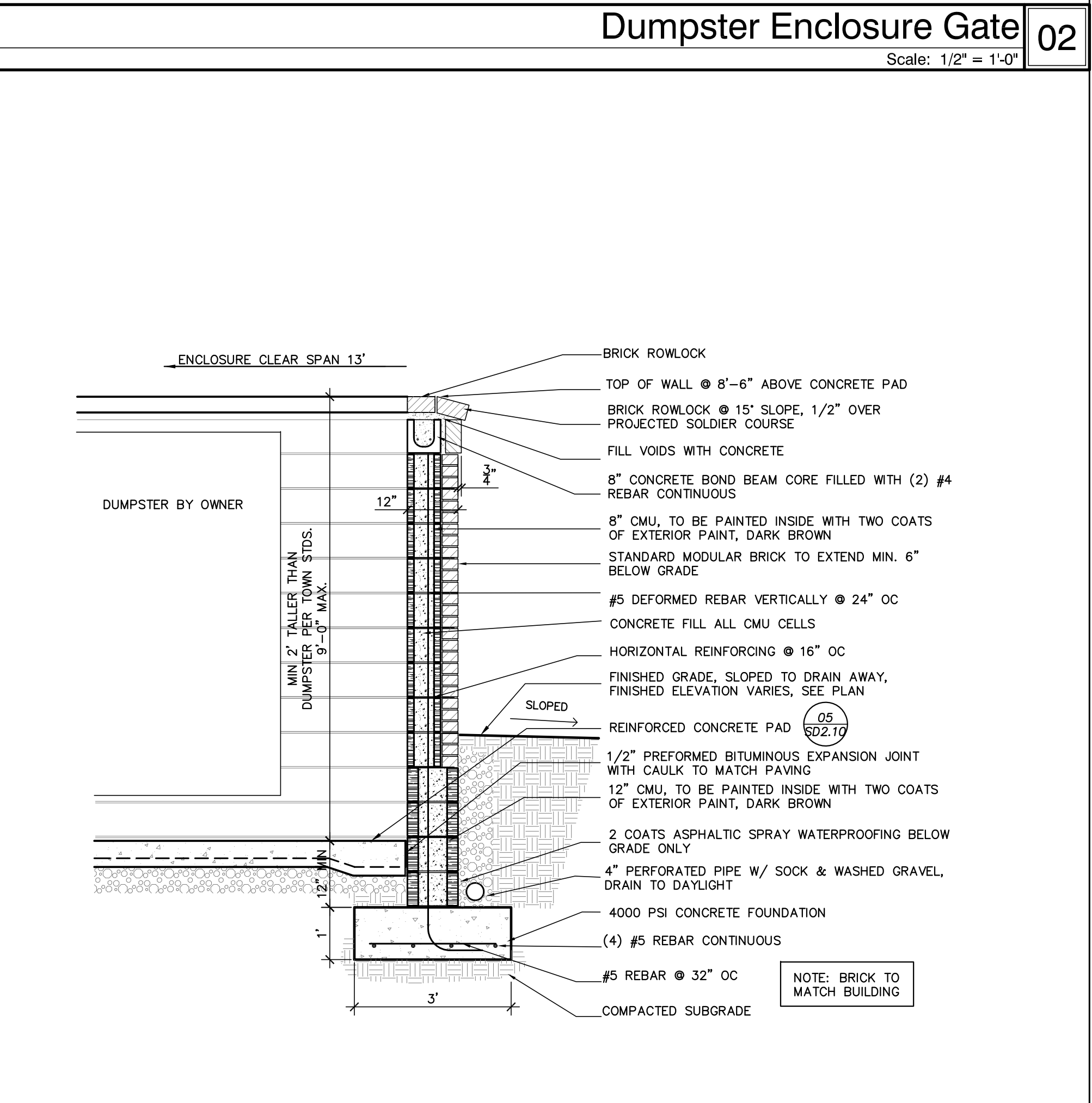
**ACCESSIBLE PARKING SIGNAGE** 09





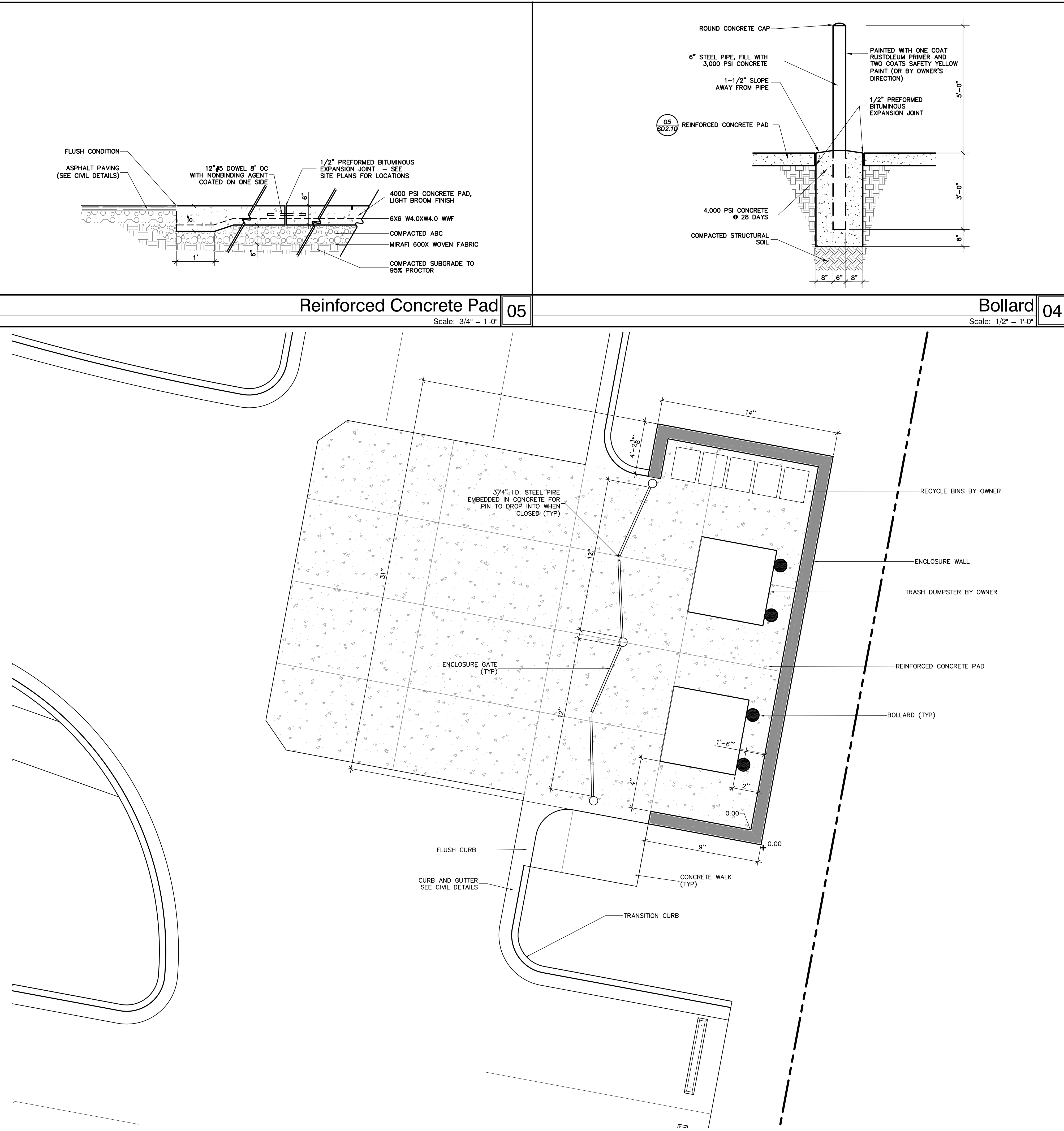
**Reinforced Concrete Pad 05**  
Scale: 3/4" = 1'-0"

**Bollard 04**  
Scale: 1/2" = 1'-0"



**Dumpster Enclosure Gate 02**  
Scale: 1/2" = 1'-0"

**Dumpster Enclosure Wall 01**  
Scale: 1/2" = 1'-0"



**Dumpster / Recycling Center 03**  
Scale: 1/4" = 1'-0"

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